



16 June 2025

Notification of Development Application No. 2025/054

Site Description: Lot: 1 DP: 438618, 1-15 Winder Place GUNNEDAH.

Notice is given that a Development Application has been submitted for Council's consideration that involves the construction of a bus shelter ancillary to the existing educational establishment.

The address of the proposed development is 1-15 Winder Place GUNNEDAH.

The applicant is Mr A Brand and Gunnedah Shire Council is the consent authority.

The Development Application has been placed on public exhibition for a period of **14** days. The documents may be inspected at Council's office during office hours 9am-4pm or on Council's website <http://www.gunnedah.nsw.gov.au/>.

Any person may make a written submission about this application to the General Manager, Gunnedah Shire Council, PO Box 63, Gunnedah NSW 2380 or via email council@gunnedah.nsw.gov.au. The issues you raise will be included in the evaluation of the development application, along with the other matters Council must consider.

Submissions should be received no later than 5.00pm on **30 June 2025**. All submissions **must** include disclosure of any reportable political contribution or gift made in the previous two years.

If the submission includes an objection to the proposal, the grounds of objection must be given. You are advised that you may request that your name and address not be disclosed by stating prominently "OBJECTION IN CONFIDENCE" on your submission for reason that disclosure would result in detriment to you. However, Council may be obliged to release these details under the Freedom of Information Act 1989 even if these words are used in the submission. Further, submissions that do not contain the author's name and address may not be considered as Council will be unable to validate the submissions authenticity.

If you have any enquiries in relation to this Development Application, please contact Council's Duty Planner on 02 6740 2100.

Yours faithfully

Wade Hudson
MANAGER DEVELOPMENT ASSESSMENT

Contact: 02 6740 2100

Reference: 2025/054

Id

Development Consent Cover Sheet – Council's Use

Made under the Environmental Planning & Assessment Act.1979

LAST UPDATED 23 JULY 2021

Date: 02/06/2025

DEVELOPMENT APPLICATION NUMBER

Development Application Number: 10.2025.00000054.001

APPLICANT DETAILS

Name(s): Department of Education C/- Allen Brand



LAND TO BE DEVELOPED

Address: 1-15 Winder Pl, Gunnedah

Lot Number: 1 DP Number: 438618 Site Area: 1.564H

BRIEF DESCRIPTION AND USE OF PROPOSED DEVELOPMENT

Bus Shelter.

PROPOSED DEVELOPMENT DETAILS

- ☒ Local Development
- ☐ Integrated Development (requires approval under another Act)
- ☐ Designated Development (requires an EIS to be submitted)

Total Project Value: \$40,000

Applicant contact details

Title	
First given name	Allen
Other given name/s	
Family name	Brand
Contact number	[REDACTED]
Email	[REDACTED]
Address	[REDACTED]
Application on behalf of a company, business or body corporate	Yes
ABN	40300173822
ACN	
Name	DEPARTMENT OF EDUCATION
Trading name	DEPARTMENT OF EDUCATION
Is the nominated company the applicant for this application	Yes

Owner/s of the development site

Owner/s of the development site	A company, business, government entity or other similar body owns the development site
Owner #	1
Company, business or body corporate name	Department of Education c/- Dean Slattery
ABN / ACN	40 300 173 822

I declare that I have shown this document, including all attached drawings, to the owner(s) of the land, and that I have obtained their consent to submit this application. - Yes

Note: It is an offence under Section 10.6 of the Environmental Planning and Assessment Act 1979 to provide false or misleading information in relation to this application.

Site access details

Are there any security or site conditions which may impact the person undertaking the inspection? For example, locked gates, animals etc.	No
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Developer details

ABN	78006262436
ACN	
Name	The trustee for D & C Projects
Trading name	D & C Projects
Address	[REDACTED]
Email Address	[REDACTED]

Development details

Application type	Development Application
Site address #	1
Street address	1-15 WINDER PLACE GUNNEDAH 2380
Local government area	GUNNEDAH
	1/-/DP729872

Lot / Section Number / Plan	1/-/DP438618	<input type="checkbox"/>
	1/-/DP450070	<input checked="" type="checkbox"/>
		<input type="checkbox"/>
	1/-/DP502445	<input type="checkbox"/>
Primary address?	Yes	
Planning controls affecting property	Land Application LEP Gunnedah Local Environmental Plan 2012 Land Zoning R2: Low Density Residential Height of Building NA Floor Space Ratio (n:1) 0.5:1 Minimum Lot Size 650 m ² Heritage NA Land Reservation Acquisition NA Foreshore Building Line NA	

Proposed development

Selected common application types	Erection of a new structure
Selected development types	Supporting Development
Description of development	New Bus Shelter ancillary to an Existing Educational Establishment
Dwelling count details	
Number of dwellings / units proposed	
Number of storeys proposed	
Number of pre-existing dwellings on site	
Number of dwellings to be demolished	
Number of proposed occupants	0
Existing gross floor area (m2)	0
Proposed gross floor area (m2)	48
Total site area (m2)	15,647
Total net lettable area (m2)	0
What is the estimated development cost, including GST?	\$40,000.00
Estimated development cost	\$40,000.00
Do you have one or more BASIX certificates?	
Subdivision	
Number of existing lots	
Proposed operating details	
Number of staff/employees on the site	

Number of parking spaces

Number of loading bays	
Is a new road proposed?	No
Concept development	

Is the development to be staged?	No, this application is not for concept or staged development.
Crown development	
Is this a proposed Crown development?	Yes
Please identify NSW government agency	Department of Education

Related planning information

Is the application for integrated development?	No
Is your proposal categorised as designated development?	No
Is your proposal likely to significantly impact on threatened species, populations, ecological communities or their habitats, or is it located on land identified as critical habitat?	No
Is this application for biodiversity compliant development?	No
Does the application propose a variation to a development standard in an environmental planning instrument (eg LEP or SEPP)?	No
Is the application accompanied by a Planning Agreement ?	No
Section 68 of the Local Government Act	
Is approval under s68 of the Local Government Act 1993 required?	Yes
Have you already applied for approval under s68 of the Local Government Act?	No
Would you like to apply for approval under s68 of the Local Government Act?	Yes
10.7 Certificate	
Have you already obtained a 10.7 certificate?	
Tree works	
Is tree removal and/or pruning work proposed?	No
Local heritage	
Does the development site include an item of environmental heritage or sit within a heritage conservation area.	No
Are works proposed to any heritage listed buildings?	No
Is heritage tree removal proposed?	No
Affiliations and Pecuniary interests	
Is the applicant or owner a staff member or councillor of the council assessing the application?	No
Does the applicant or owner have a relationship with any staff or councillor of the council assessing the application?	No
Political Donations	
Are you aware of any person who has financial interest in the application who has made a political donation or gift in the last two years?	No
Please provide details of each donation/gift which has been made within the last 2 years	

Sustainable Buildings

Is the development exempt from the State Environmental Policy (Sustainable Buildings) 2022 Chapter 3, relating to non-residential buildings?	Yes
Provide reason for exemption. Is the development any of the following:	An alteration or addition with an Estimated Development Cost under \$10 million, or a new development with an Estimated Development Cost under \$5 million

Payer details

Provide the details of the person / entity that will make the fee payment for the assessment.

The *Environmental Planning and Assessment Regulation 2021* and Council's adopted fees and charges establish how to calculate the fee payable for your development application. For development that involves building or other works, the fee for your application is based on the estimated cost of the development.

If your application is for integrated development or requires concurrence from a state agency, additional fees will be required. Other charges may be payable based on the Council's adopted fees and charges. If your development needs to be advertised, the Council may charge additional advertising fees. Once this application form is completed, it and the supporting documents will be submitted to the Council for lodgement, at which time the fees will be calculated. The Council will contact you to obtain payment. Note: When submitting documents via the NSW Planning Portal, credit card information should not be displayed on documents attached to your development application. The relevant consent authority will contact you to seek payment.

The application may be cancelled if the fees are not paid:

Company Name	Department of Education
ABN	40 300 173 822
ACN	
Trading Name	
Email address	
Billing address	

Application documents

The following documents support the application.

Document type	Document file name
Architectural Plans	Plan Set_REV02
Cost estimate report	Cost Estimate - 1-15 Winder Place
Other	Installation drawing VIS-SM-034-ID_dwg_sht1-8 Product drawing VIS-SM-034-PD_dwg_sht1-2
Owner's consent	NSW Planning Portal Applicant Details Gunnedah South PS - Owners Consent - DA form DA_ letter to council
Site Plans	Site Plans_REV02
Statement of environmental effects	Statement of Environmental Effects

Applicant declarations

I declare that all the information in my application and accompanying documents is, to the best of my knowledge, true and correct.	Yes
I understand that the development application and the accompanying information will be provided to the appropriate consent authority for the purposes of the assessment and determination of this development application.	Yes
I understand that if incomplete, the consent authority may request more information, which will result in delays to the application.	Yes
I understand that the consent authority may use the information and materials provided for notification and advertising purposes, and materials provided may be made available to the public for inspection at its Offices and on its website and/or the NSW Planning Portal	Yes

I acknowledge that copies of this application and supporting documentation may be provided to interested persons in accordance with the Government Information (Public Access) 2009 (NSW) (GIPA Act) under which it may be required to release information which you provide to it.	Yes
I agree to appropriately delegated assessment officers attending the site for the purpose of inspection.	Yes
I have read and agree to the collection and use of my personal information as outlined in the Privacy Notice	Yes
I confirm that the change(s) entered is/are made with appropriate authority from the applicant(s).	

EXHIBITION COPY



Owners Consent

Made under the *Environmental Planning and Assessment Act 1979* and *Local Government Act 1993*

ABOUT THIS FORM

You can use this form to demonstrate that all owners have consented to the lodging of an application where Council is the consent authority.

LAND RELATING TO THE APPLICATION

Address: Unit 1/15 Winder Place
Town/Suburb: Gunnedah State: NSW Postcode: 2380
Lot Number: 1 Section Number: - DP Number: 438618

OWNERS DETAILS

Name(s): Dean Slattery - acting on behalf of the Department of Education
Address:
Town/Suburb: State: Postcode:

I/WE, THE OWNER(S) GIVE CONSENT TO

Nominated Agent: D & C Projects

TO ACT ON MY/OUR BEHALF TO

- Lodge all relevant applications for development consent, CCs, CDCs, Subdivision Works Certificates, Subdivision Certificates, Appointment of Principal Certifier, Building Information Certificates, Occupation Certificates, Planning Proposal and Section 68 Applications.
- Have discussions with all relevant authorities.
- Do all things required to be done, or provide all information and documents necessary to obtain such approvals.
- Where applicable, withdraw the application/s and obtain a refund of relevant fees paid.

CONSENT OF ALL OWNERS

As the owner(s) of the property, I/we consent to this application to apply for approval to carry out the development described herein and state that the information contained herein is, to the best of my/our knowledge, true and correct. I/we hereby give permission for Council authorised personnel to carry out inspections of the land and buildings as necessary for the purpose of assessing this application without prior notice of entry.

Name: Dean Slattery. Executive Director, Asset management - School Infrastructure.

Signature: Signed by me as delegate of the Minister for Education and Early Childhood Learning in the state of New South Wales pursuant to Section 125 of the Education Reform Act 1990 and I hereby certify that I have no notice of the revocation of such delegation. Date:
Name:
Signature: Date:

Note: if ownership is under a company name, please provide evidence that the signatory on the application has the authority to sign on behalf of the company, by providing authority on company letterhead.

GUNNEDAH SOUTH PUBLIC SCHOOL

PROUD OF OUR PAST, FOCUSED ON THE FUTURE



To Whom it May Concern,

Mr Dean Slattery is the Executive Director of Northwest Assets and School Infrastructure and acts on behalf of Gunnedah South Public School and the Department of Education in the submission of a development application for a covered shelter to be erected at the school bus gate.

Mr Slattery has the authority in his position to complete and sign the owner's consent for this development application.

With kind regards,

A handwritten signature in black ink, appearing to read 'Nicole Walsh'.

Nicole Walsh
Principal
Gunnedah South Public School

EXHIBITION COPY



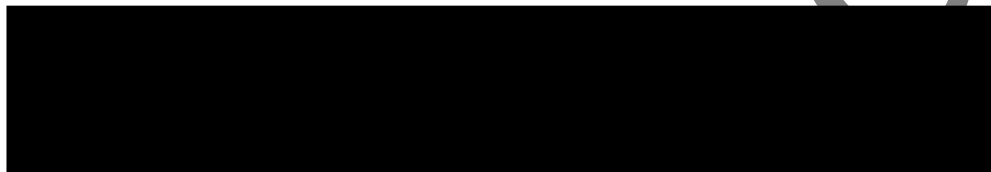
249 Peel St, Tamworth
NSW 2340
ACN: 1476 44951
ABN: 7800 626 2436

NSW Planning Portal – New Application

Required Information;

Applicant Details

Name: **Allen Brand**



Are you applying on behalf of a business? Y / N **Y**

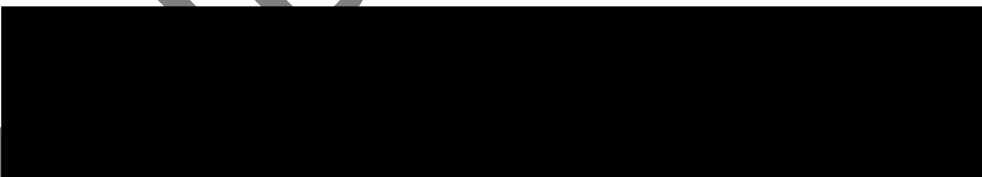
If Yes-

ABN: **40 300 173 822**

Trading Name: **DEPARTMENT OF EDUCATION**

Owner Details (Please note if more than one – all owner's must be listed)

Name: **Dean Slattery**



ABN (if applicable):

Name:

Contact Number:

Email:

Postal Address:

ABN (if applicable):

(For Residential)

Proposed number of occupants:

For Section S68 Applications with Septic Systems

Please provide Certificate of Accreditation from NSW Health

Septic Type:

(i.e; AWTS / septic tank / Effluent pump out / composting system / sand filter / pump to sewer)

Type of system:

(i.e; Surface irrigation / sub-surface irrigation / raised mound / Evapo-transpiration / absorption trench)

Main Tank Capacity:

Where available, Septic System Details or Brochure from Manufacturer

Builder Details (where applicable)

Name: Josh Neill

Trading Name: JOSH NEILL CARPENTRY PTY LTD

ABN: 49650504948



Please provide builder's quote or cost estimate if you have received one.

\$ 40,000.00

Statement of Environmental Effects

SINGLE DWELLING HOUSES, RESIDENTIAL ANCILLARY & OUTBUILDING DEVELOPMENTS ONLY

LAST UPDATED 15 AUGUST 2023

INTRODUCTION

A Statement of Environmental Effects is to be submitted with all development applications other than "designated development" or proposals having negligible environmental impact, eg internal alterations. This form is to be used for single dwelling houses, residential ancillary & outbuilding developments only. All other developments require a detailed, site specific Statement of Environmental Effects.

This Statement of Environmental Effects is not exhaustive and should be augmented where appropriate. If insufficient space not has been provided, please attach additional sheets.

Please place a tick (✓) in the appropriate box.

SITE AND CONTEXT SUITABILITY

	YES	NO
Is the development compatible with the land zoning?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Is the development compatible with adjoining development?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Does your application include a site plan illustrating the topography of the development site?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Describe the topography of the site (eg slope of the land, existing vegetation, groundwater issues, orientation of dwelling, streetscape and setbacks etc)		
Allen Brand		

PRESENT AND PREVIOUS USES

What is the current use of the site?

Unit 1/15 Winder Pl, Gunnedah NSW 2380

Y

Has there been any other land use other than that listed above?

40 300 173 822

DEPARTMENT OF EDUCATION

What is the use of the adjoining land?

Is the present use a potentially contaminated activity?

YES NO

☐ ☒

Was the previous use a potentially contaminated activity?

☐ ☒

Has there been any testing or assessment of the site for land contamination?

☐ ☒

Have any of the following land uses or activities been undertaken on the site:

- Service station
- Sheep or cattle dip
- Intensive agriculture
- Mining or extractive industry
- Waste storage or waste treatment
- Manufacture of chemicals
- Asbestos or asbestos products
- Other - Refer to State Environmental Planning Policy (Resilience and Hazard) 2021

☒ ☒

☒ ☒

☐ ☒

☒ ☒

☒ ☒

☐ ☒

☐ ☒

☐ ☒

If a "Yes" answer is given above, please provide details:

.....

Could the proposal result in soil contamination?

☐ ☒

ELECTRICITY

Where will electricity be accessed from?

During development electricity will come from an on-site source with owner's consent

ACCESS AND TRAFFIC

YES NO

Is there adequate provision for vehicle access to a public road?

☒ ☐

Will the proposal generate traffic?

☐ ☒

If "yes" a traffic impact assessment report should be prepared and submitted.

What road will the site be accessed from? (road name, existing entrance location, etc)

The access point for the proposed development is on Stock Road, Gunnedah.

Will local traffic movements and volumes be affected?

☐ ☒

Is existing servicing inadequate?

☐ ☒

Will additional access requirements be needed?

☐ ☒

Is there an attached garage with a minimal 2 spaces or has parking arrangements been made for such spaces parking?

☐ ☒

What is the current formation of the existing access?

There is an existing gate nearby to the subject site that provides access.

.....

WATER AND DRAINAGE

Where will water be sourced from?

- Town Supply
- Rainwater Tank
- Bore

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

How will stormwater be disposed from the site?

- Street
- Onsite retention

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Are inter-allotment drainage easement across a downstream property required?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Will the proposed design increase stormwater runoff or adversely affect flooding on other land?

<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
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Does the development site contain an existing rainwater tank that is currently being utilised?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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If disposal of stormwater is on site, describe disposal system.

As the existing site is already hardstand with appropriate stormwater dispersion,
the addition of a bus shelter to this space will have no adverse impact.

Are measures in place to maximise infiltration and minimise water runoff?
(eg groundcover, banks, stormwater reuse, low water demand, native plants)

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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PRIVACY, VIEWS AND SUNLIGHT

Will the proposal affect the amenity of surrounding residences by:

- Overshadowing
- Loss of privacy

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

WASTE MANAGEMENT SYSTEM

How will effluent be disposed of?

- Onsite
- Sewer

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Will the proposal lead to direct discharges of stormwater or waste water into a natural water system?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Will other wastes be generated by this development?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Does the site plan include the location of any proposed onsite waste management system?

<input checked="" type="checkbox"/>	<input type="checkbox"/>
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HERITAGE

Is a heritage item located on the development site?

YES NO

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Is the development site located in a heritage conservation area?

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Is the development site an archaeological or potential archaeological site?
(eg having Aboriginal Heritage significance)

<input type="checkbox"/>	<input checked="" type="checkbox"/>
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ENVIRONMENTAL IMPACTS

SOIL

	YES	NO
Will excavation and/or filling be required?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Slopes of greater than 15% require a geotechnical report. Is the slope is greater than 15%?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Are suitable retaining walls or vegetated earth batters to be installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

HABITAT

Will the proposal involve the removal of vegetation?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If vegetation is to be removed, how much area of vegetation will be removed? (this area should be measured based on canopy size and includes areas that may be affected by access driveways, installation of services, operation of Onsite Sewerage Management Systems, APZ, etc)		

Could the proposal affect native vegetation or animal habitats?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
(Zones other than RU1, RU4, RU6 and C3)		
Does the development have low or nil impact on koalas or koala habitat?	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Refer to State Environmental Planning Policy (Biodiversity and Conservation) 2021, Clause 4.9		
For lots within the RU1, RU4, RU6 and C3 zones a Koala Assessment Report is Required in accordance with Chapter 3 of State Environmental Planning Policy (Biodiversity and Conservation) 2021		

HAZARDS

	YES	NO
Is the site subject to natural hazards such as:		
• Subsidence	<input type="checkbox"/>	<input checked="" type="checkbox"/>
• Other	<input type="checkbox"/>	<input checked="" type="checkbox"/>

FLOOD PRONE LAND

	YES	NO
Is the site subject to flooding?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If "yes", detailed levels are to be provided with the application as part of a Flood Survey Plan.		

AQUACULTURE

	YES	NO
Is the development located closer than 40m from a natural water course or body of water?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

BUSHFIRE PRONE LAND

	YES	NO
Has the land been identified as Bushfire Prone Land on the Gunnedah LGA in accordance with the Bushfire Prone Land Map 2003?	<input type="checkbox"/>	<input checked="" type="checkbox"/>
If "yes", the development will need to take into consideration the policy "Planning for Bushfire Protection" (NSW Rural Fire Service).		

SIGNED

Author's Name: David J Northey (D&C Projects)


Author's Signature:  Date: 05/03/25

ARTIST IMPRESSION
NOT TO SCALE

BASIX COMMITMENTS	
HOT WATER A GAS INSTANTANEOUS HOT WATER SYSTEM MUST BE INSTALLED	
ARTIFICIAL LIGHTING THE APPLICANT MUST ENSURE THAT 40% OF THE NEW OR ALTERED LIGHTING IS FLUORESCENT, COMPACT FLUORESCENT OR LED AS OUTLINED IN THE BASIX CERTIFICATE	
PLUMBING FIXTURES NEW / ALTERED SHOWER HEADS MAXIMUM FLOW 9 LITRES PER MINUTE NEW / ALTERED TOILET FLUSHING SYSTEM MAXIMUM FLOW 4 LITRES PER MINUTE NEW / ALTERED KITCHEN TAPS MAXIMUM FLOW 9 LITRES PER MINUTE NEW / ALTERED BATHROOM TAPS MAXIMUM FLOW 9 LITRES PER MINUTE	
THERMAL COMFORT EXTERNAL BRICK VENEER WALLS - TO HAVE ADDITIONAL INSULATION OF R1.00 RATING OR HIGHER. EXTERNAL FRAMED WALLS - TO HAVE ADDITIONAL INSULATION OF R1.00 RATING OR HIGHER. INTERNAL WALLS SHARE WITH ADJACENT SPACE - TO HAVE ADDITIONAL INSULATION OF R2.06 RATING OR HIGHER. CEILING / VENTILATED DARK ROOF (SOLAR ABSORBANCE >0.07) - TO HAVE ADDITIONAL INSULATION OF R3.5 RATING OR HIGHER. ROOF TO HAVE FOIL / SARKING INSTALLED.	

RESIDENTIAL EXTERNAL OPENING LIST							
ID	HEIGHT	WIDTH	OPENING TYPE	FRAME TYPE	GLAZING TYPE	COLOUR	SURFACE AREA

DEVELOPMENT REQUIREMENTS	
ENSURE ALL DESIGN AND CONSTRUCTION IS CARRIED OUT IN ACCORDANCE WITH BCA VOLUME 2 - 2022	
ENSURE SITE PREPARATION IS CARRIED OUT IN ACCORDANCE WITH PART H1D3 OF THE BCA	
ENSURE ALL FOOTINGS, PEIRS, CONCRETE AND SLABS ARE CONSTRUCTED IN ACCORDANCE WITH AS 2870-2011, AS2159-2009 AND AS3600-2018	
ENSURE TERMITE PROTECTION IS INSTALLED IN ACCORDANCE WITH AS3660.1-2014	
ENSURE ALL MASONRY CONSTRUCTION IS CARRIED OUT IN ACCORDANCE WITH PART H1D5 AND AS3700-2018, AS4773.1-2015 AND AS4773.2-2015	
ENSURE ALL FRAMING IS COMPLETED IN ACCORDANCE WITH AS1684.2-2010, AS1720, AS4100-2020, AS/NZS4600-2018. ALL WIND LOADINGS TO AS 1170 PART 1-5 AND AS4055-2021	
ALL WINDOWS AND GLAZING MUST COMPLY WITH PART H1D8 OF THE BCA AND AS1288-2021 AND AS2047-2014	
ALL DRAINAGE AND STORMWATER MUST COMPLY WITH PART H2D2 AND AS 3500.3-2021	
ENSURE EXTERNAL WATERPROOFING IS INSTALLED TO MEET PART H2B8 OF THE BCA AND IN COMPLIANCE WITH AS4654.1&AS4654.2-2012	
ENSURE THE SUBFLOOR IS VENTILATED IN ACCORDANCE WITH PART H2D5 OF THE BCA AND PART 6.2 OF THE ABCB HOUSING PROVISIONS	
ALL ROOF AND WALL CLADDING IS TO BE INSTALLED IN ACCORDANCE WITH HSD6 OF THE BCA	
ENSURE ROOF SHEETING IS INSTALLED IN ACCORDANCE WITH AS1562.1-2018, AS1562.3-2006. ALL ROOF TILING TO COMPLY WITH AS2050. SARKING TO BE INSTALLED TO AS/NZS4200.1-2017. HARDBOARDS TO COMPLY WITH AS/NZS 1859.4-2018. EAVES AND FIBRE CEMENT TO BE INSTALLED TO COMPLY WITH AS/NZS2908.2. ALL FLASHING COMPLY WITH AS/NZS2904-1995	
ENSURE ANY FIRE SEPARATION IS CARRIED OUT IN ACCORDANCE WITH PART H3 OF THE BUILDING CODE AND SYSTEM TESTED TO AS1530.	
ALL SMOKE ALARMS AND EVACUATION LIGHTING TO COMPLY WITH PART H3D6, AS3786-2014 AND AS1670.1-2018	
ALL WET AREAS TO COMPLY WITH AS3740-2021 AND PART H4D2 OF THE BCA	
ENSURE CONDENSATION MANAGEMENT IS COMPLETED IN ACCORDANCE WITH PART 10.8 OF THE ABCB HOUSING PROVISIONS	
ENSURE MINIMUM ROOM HEIGHTS COMPLY WITH PART H4D4 OF THE BCA HABITABLE 2.4m - NONHABITABLE 2.1m	
ENSURE ADEQUATE VENTILATION IN ACCORDANCE WITH PART H4D7 OF THE BCA AND AS1668.2-2012	
ALL SOUND INSULATION TO COMPLY WITH PART 10.7 OF THE ABCB HOUSING PROVISIONS	
ALL STAIRS, RAMPS, BARRIERS, BALUSTRADES AND HANDRAILS SHALL COMPLY WITH PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS. STAIRWAYS AND RAMPS SHALL BE DESIGNED TO AS1170.1 WITH SLIP RESISTANCE TO AS4586-2013	
ALL ENERGY EFFICIENCY MEASURES ARE TO COMPLY WITH THE BASIX CERTIFICATE	
SWIMMING POOL INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 AND REGULATION 2018. ALL WATER RETICULATION SYSTEMS ARE TO COMPLY WITH AS1926.3-2010. POOL BARRIERS ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS1926.1-2012 & AS 1926.2-2007.	
ALL CONSTRUCTION IN BUSHFIRE PRONE AREAS MUST BE CARRIED OUT IN ACCORDANCE WITH THE PLANNING FOR BUSHFIRE PROTECTION 2019 AND AS3959-2018 AND NASH STANDARD-STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS.	
ALL HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES ARE TO COMPLY WITH AS/NZS2918-2018 AND PART 12.4 OF THE ABCB HOUSING PROVISIONS	



REV	DATE	AMENDMENT	DT	CB
1	31/01/25	ISSUED FOR CLIENT REVIEW & SIGNOFF	DN	SB

DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

BOUNDARY LOCATIONS AND PROPOSED WORKS ARE TO BE CONFIRMED BY A REGISTERED SURVEYOR.

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DO NOT SCALE DRAWINGS - USE FIGURED DIMENSIONS ONLY.

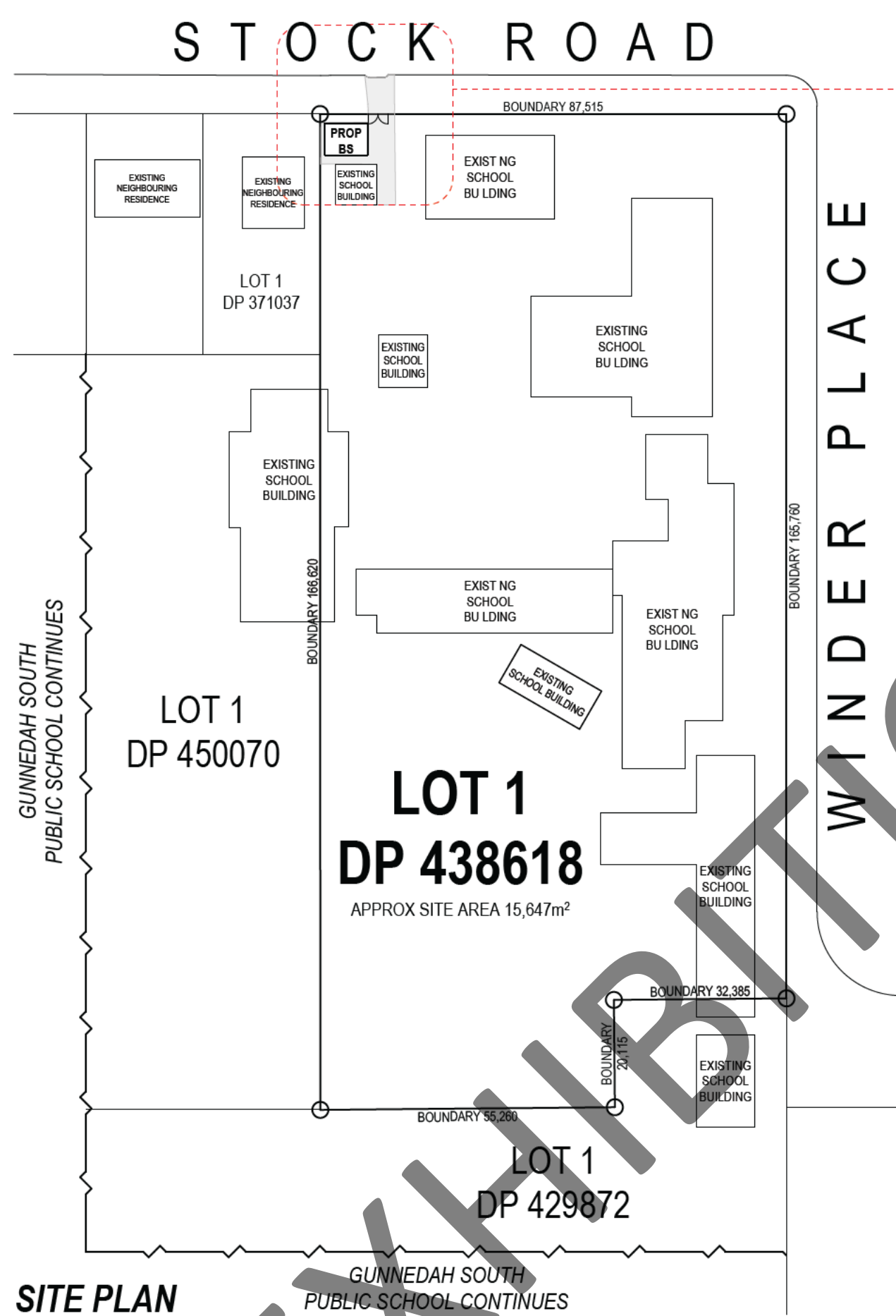
ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

Client	JOSH NEILL
Project Name	PROPOSED BUS SHELTER
	1/15 WINDER PLACE
	GUNNEDAH NSW 2380

Drawing Title	COVER SHEET
---------------	-------------

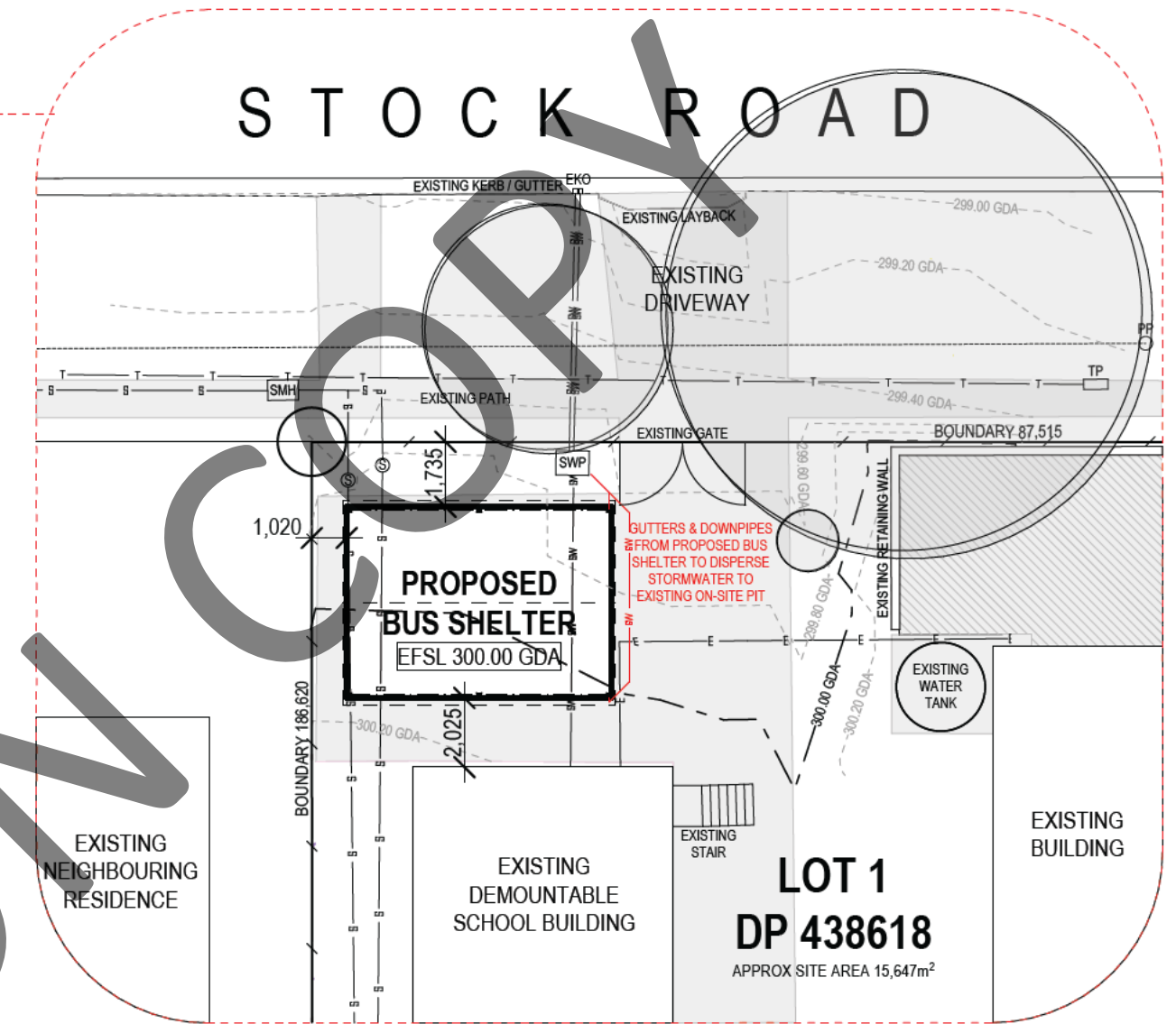
Status	DA SUBMISSION	Scale	1:1 @ A3
Project No	25010	Sheet No.	WD4
Plot Date	11/04/2025		

DA SUBMISSION



SITE PLAN
SCALE 1:1000@A3

SITE DETAIL
SCALE 1:200@A3



SITE DETAIL LEGEND			
	EXISTING CONCRETE		EXISTING SECURITY FENCE
	EXISTING GARDEN BED		EXISTING SEWER SERVICE
	EXISTING TREE		EXISTING ELECTRICAL SERVICE
			EXISTING STORMWATER SERVICE
			PROPOSED STORMWATER LINE
			EXISTING TELECOM SERVICE
			EXISTING OVERHEAD POWER LINES
			EXISTING POWER POLE
			EXISTING TELECOM PIT
			EXISTING STORMWATER KERB OUTLETS
			EXISTING STORMWATER PIT
			EXISTING SEWER INSPECTION POINT
			EXISTING SEWER MAN HOLE

NOTE: ALL MEASUREMENTS ARE APPROXIMATE ONLY.
ALL EXISTING WALLS 'ARE' SHOWN INCLUSIVE OF LININGS
ALL PROPOSED WORK 'DOES NOT' INCLUDE LININGS.
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SITE PRIOR TO THE COMMENCEMENT OF WORK.
D&C PROJECTS HOLDS NO RESPONSIBILITY OVER EXISTING
MEASUREMENTS AND SIZES. ANY DISCREPANCIES SHOULD
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REV	DATE	AMENDMENT	DT	CS
1	31/01/25	ISSUED FOR CLIENT REVIEW & SIGNOFF	DN	SB
1	20/02/25	ISSUED FOR DA SUBMISSION	DN	-

DEVELOPMENT NOTES

ALL WORKS WITHIN ARE TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA & RELEVANT REFERENCED AUSTRALIAN STANDARDS.

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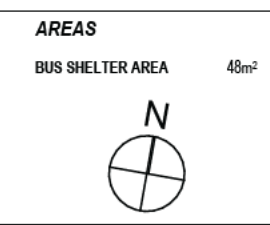
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LEGEND	
SC	150x150 STEEL COLUMN TO ENGINEER'S DETAILS
PROP. BS	PROPOSED BUS SHELTER
COS	CONFIRM ON SITE
RC	REINFORCED CONCRETE
FSL	FINISHED SLAB LEVEL
FCL	FINISHED CEILING LEVEL
EGL	EXISTING GROUND LEVEL
GDA	GEOCENTRIC DATUM OF AUSTRALIA



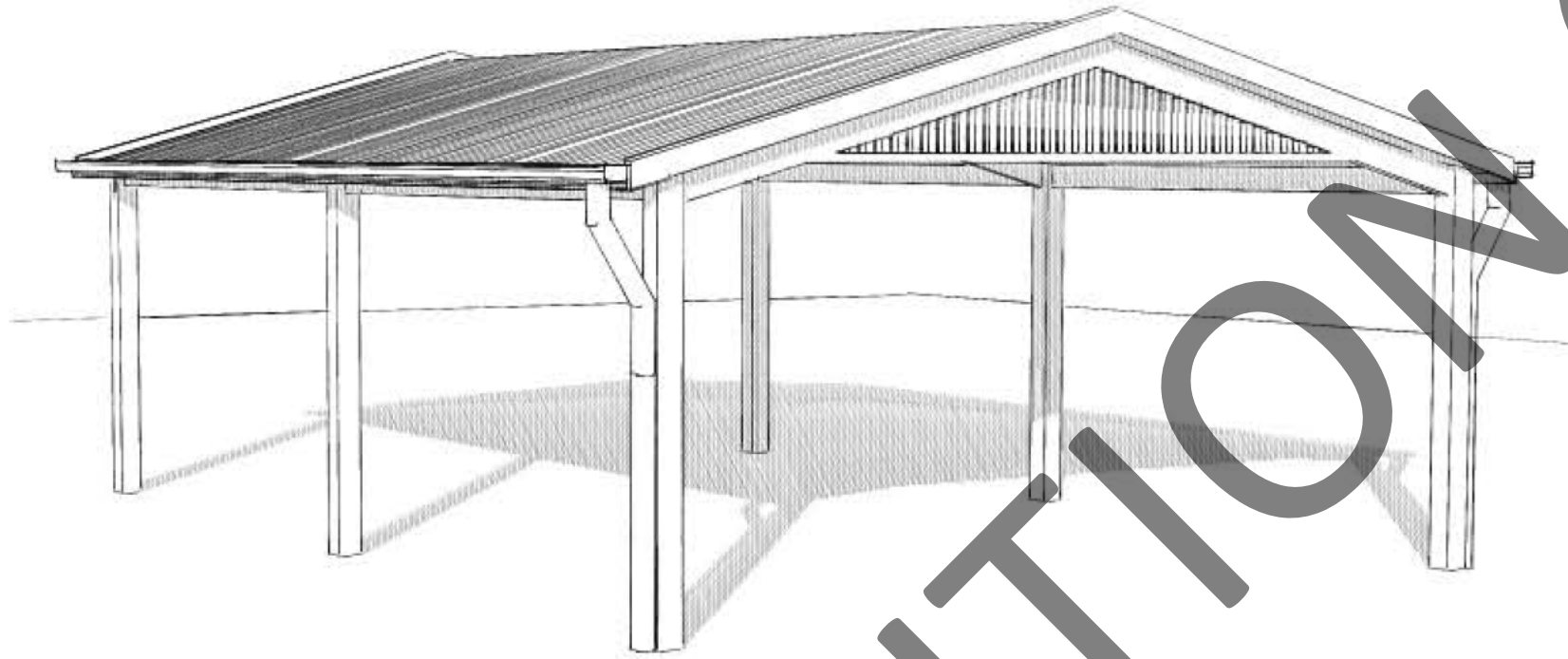
Client
JOSH NEILL

Project Name
PROPOSED BUS SHELTER

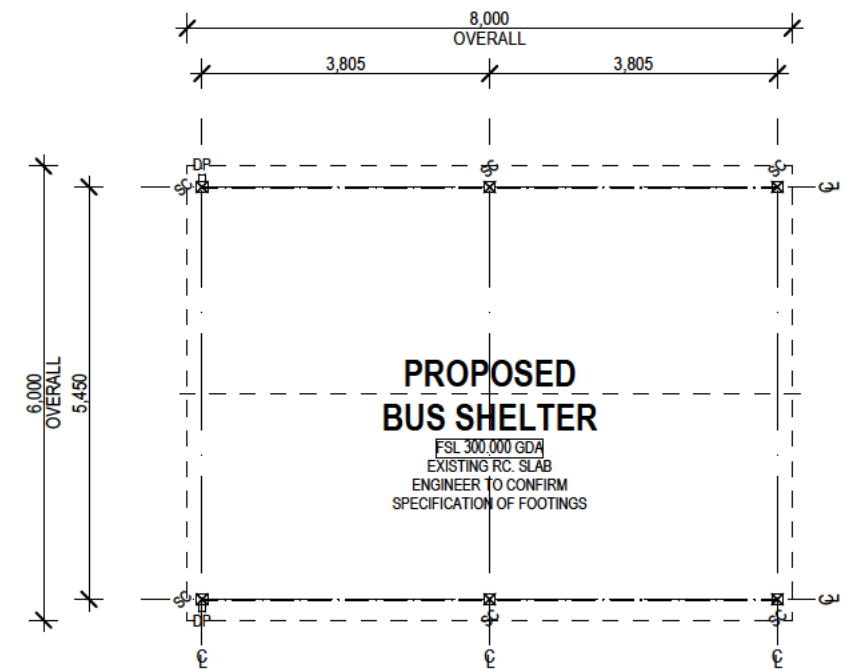
1/15 WINDER PLACE
GUNNEDAH
NSW 2380

Drawing Title SITE PLAN / SITE DETAIL / FLOOR PLAN	
Status DA SUBMISSION	Scale AS SHOWN
Project No 25010	Sheet No. WD1
Plot Date	11/04/2025

DA SUBMISSION



ARTIST IMPRESSION
NOT TO SCALE



FLOOR PLAN
SCALE 1:100@A3

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LEGEND

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COS CONFIRM ON SITE
RC REINFORCED CONCRETE
FSL FINISHED SLAB LEVEL
FCL FINISHED CEILING LEVEL
EGL EXISTING GROUND LEVEL

C CENTRE LINE
— — — BEAM OVER TO ENGINEER'S DETAILS

AREAS

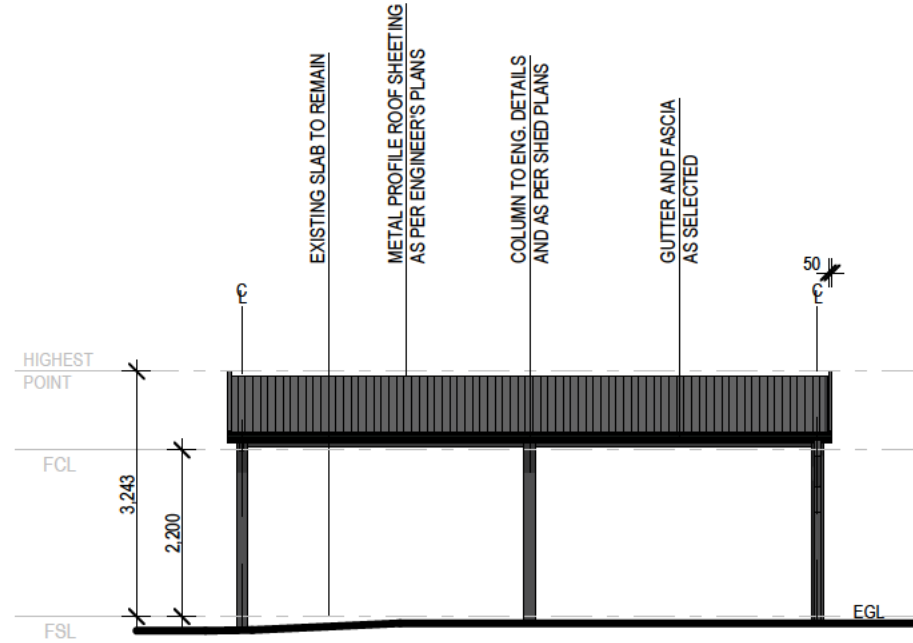
BUS SHELTER AREA 48m²



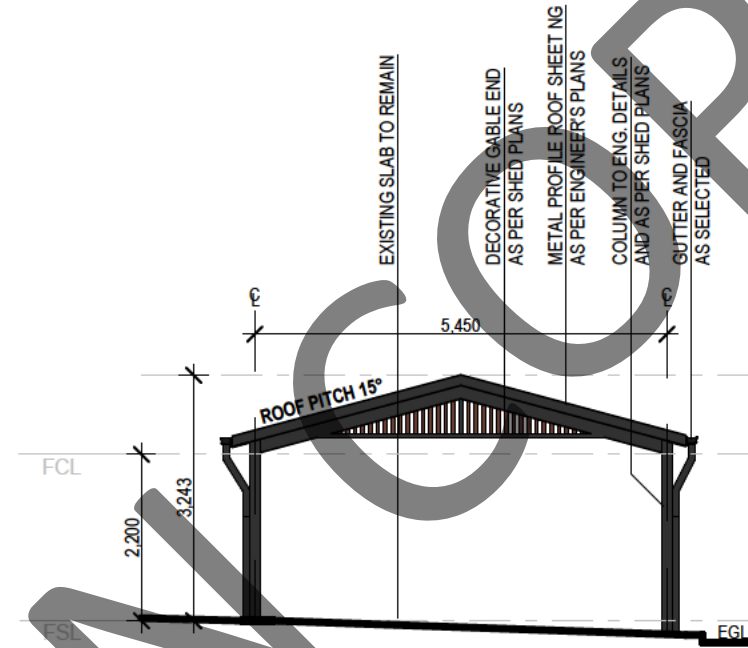
Client
JOSH NEILL
Project Name
PROPOSED BUS SHELTER
1/15 WINDER PLACE
GUNNEDAH
NSW 2380

Drawing Title
PROPOSED FLOOR PLAN
Status DA SUBMISSION Scale AS SHOWN
Project No
25010
Plot Date
11/04/2025
Sheet No.
WD2

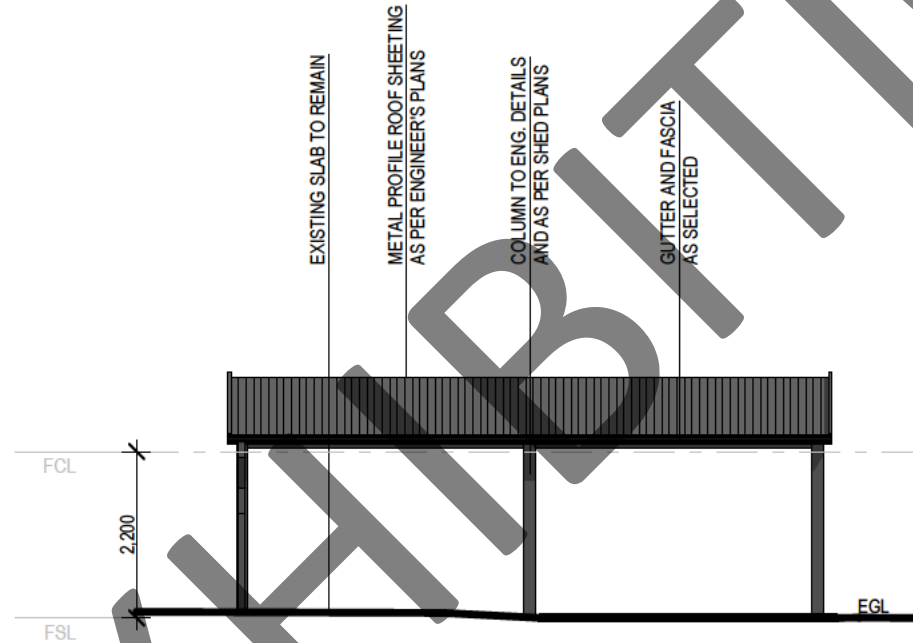
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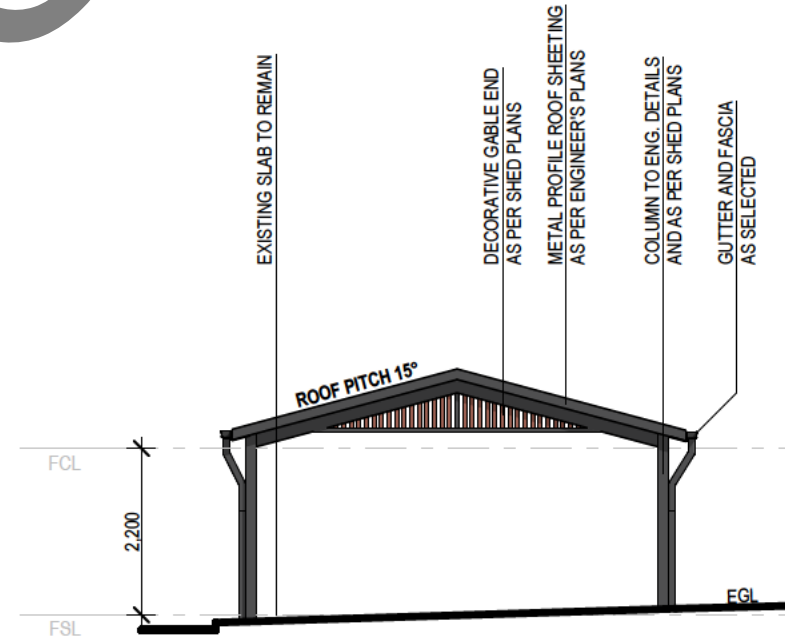
NORTHERN ELEVATION
SCALE 1:100@A3



EASTERN ELEVATION
SCALE 1:100@A3



SOUTHERN ELEVATION
SCALE 1:100@A3



WESTERN ELEVATION
SCALE 1:100@A3

REV	DATE	AMENDMENT	DT	CS
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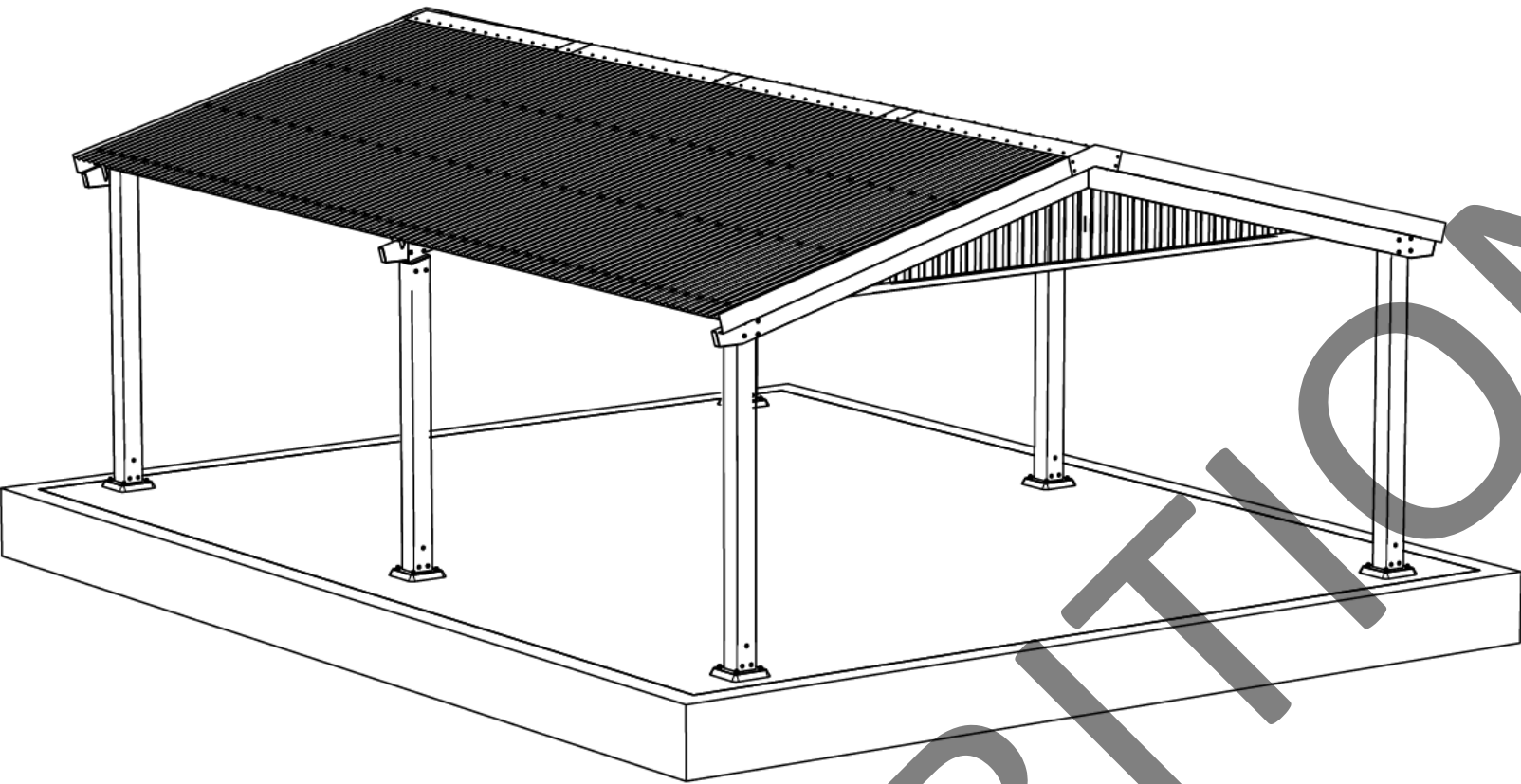


Client
JOSH NEILL

Project Name
PROPOSED BUS SHELTER

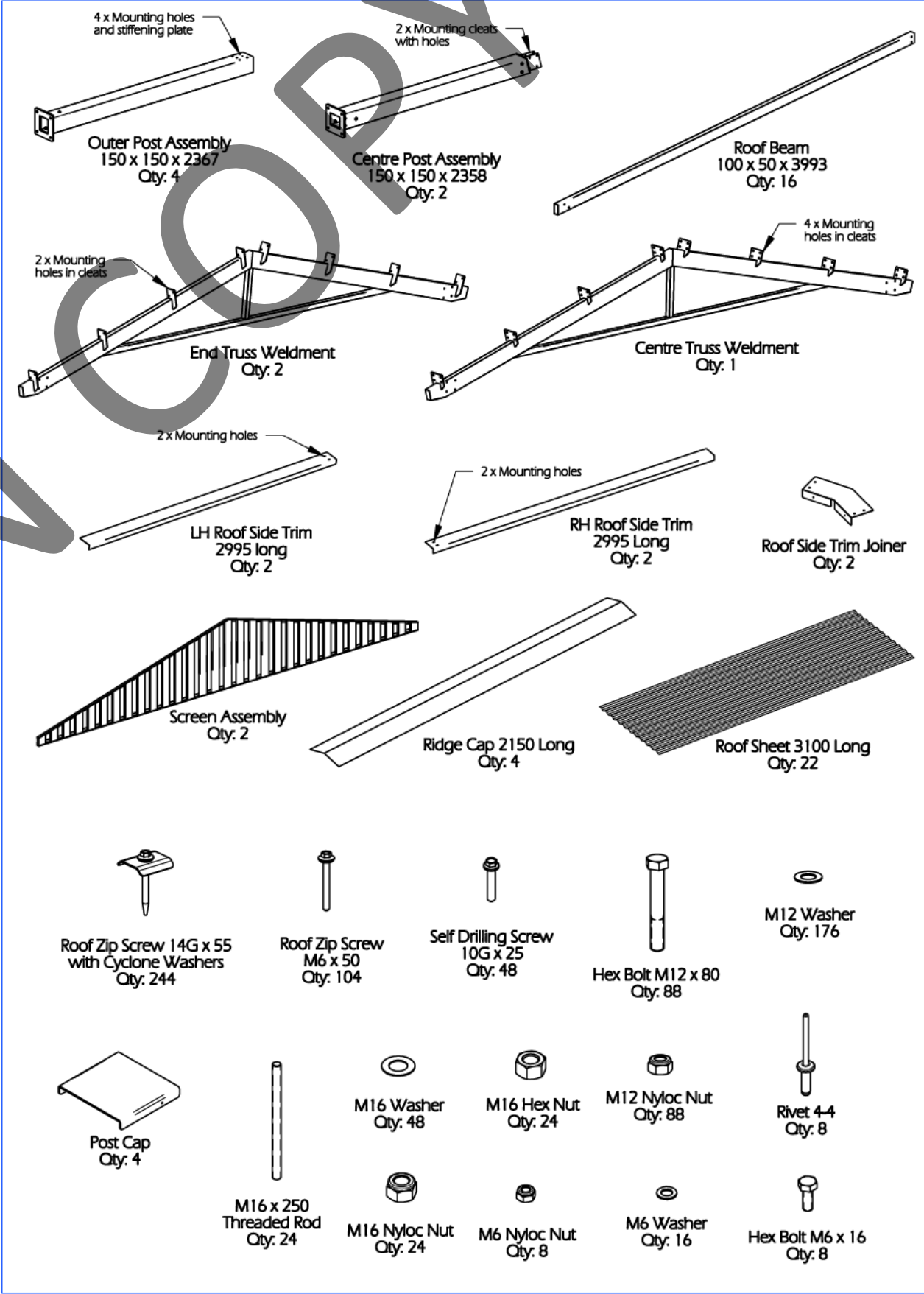
1/15 WINDER PLACE
GUNNEDAH
NSW 2380

Drawing Title ELEVATIONS	
Status DA SUBMISSION	Scale AS SHOWN
Project No 25010	Sheet No. WD3
Plot Date	11/04/2025



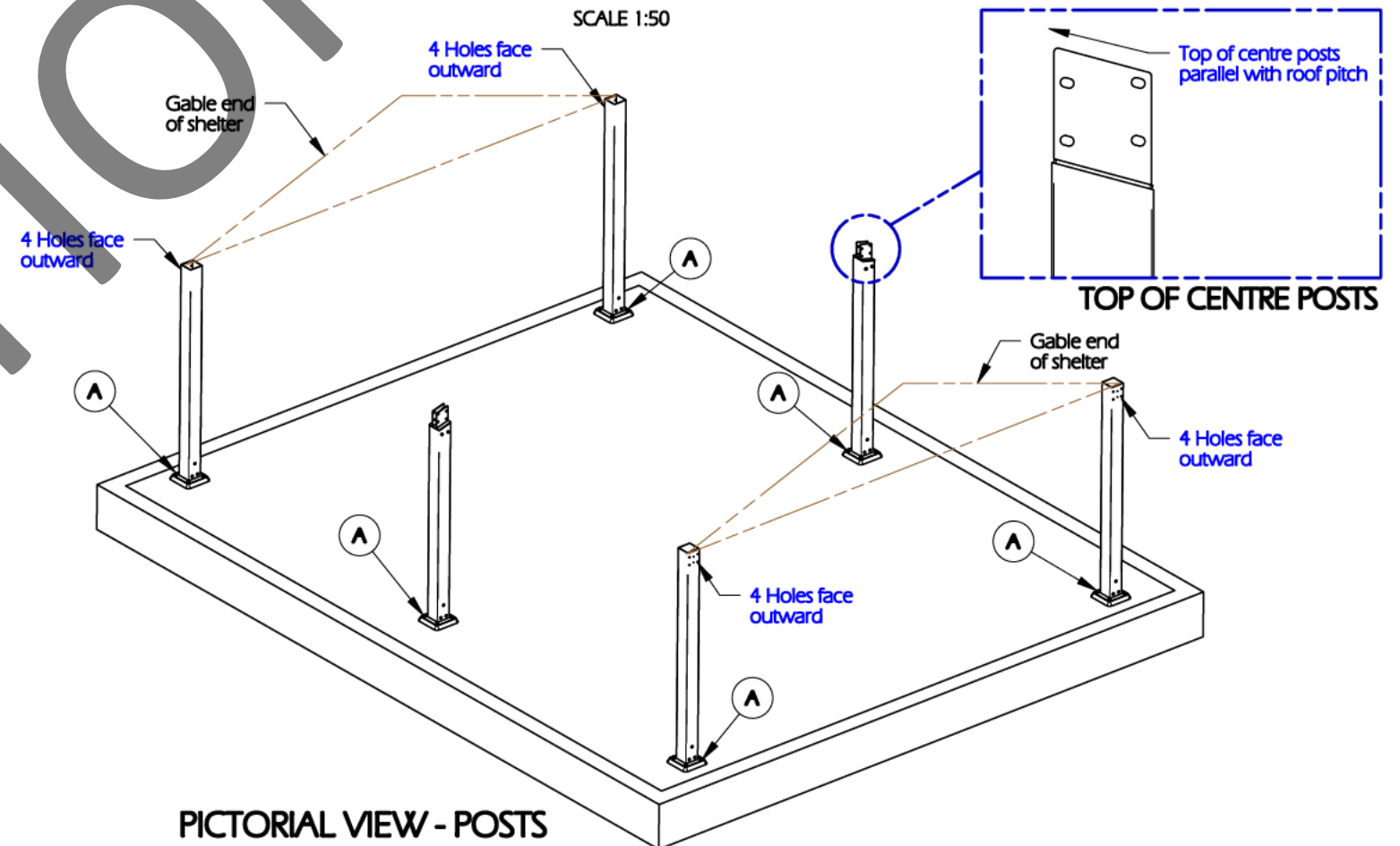
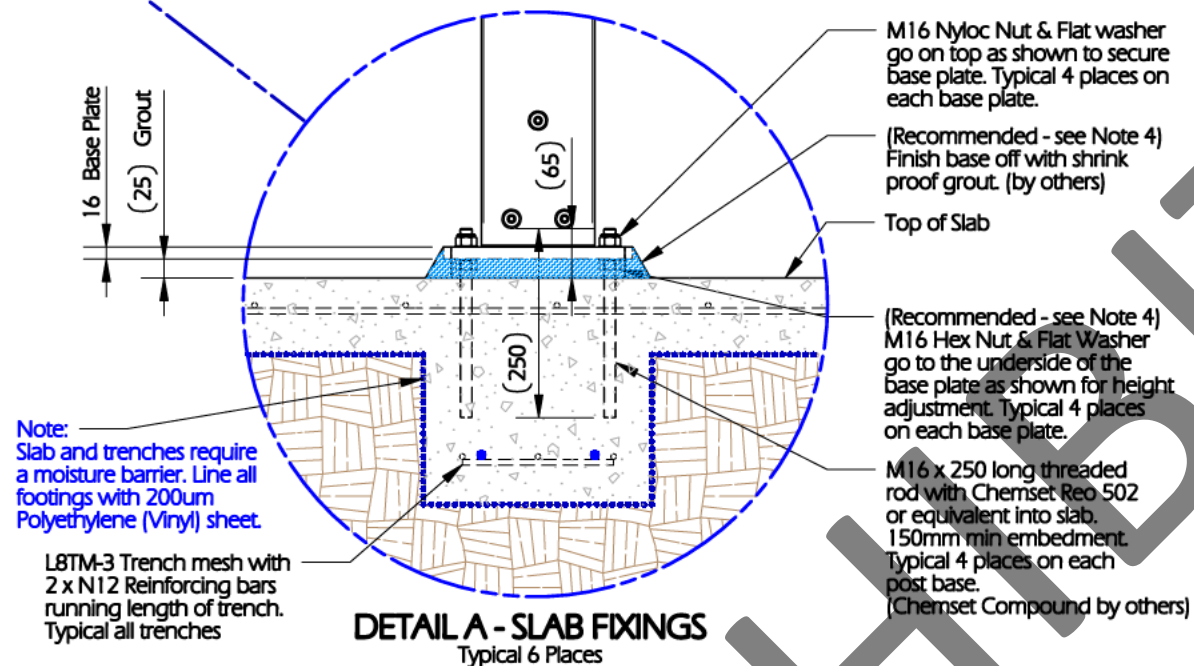
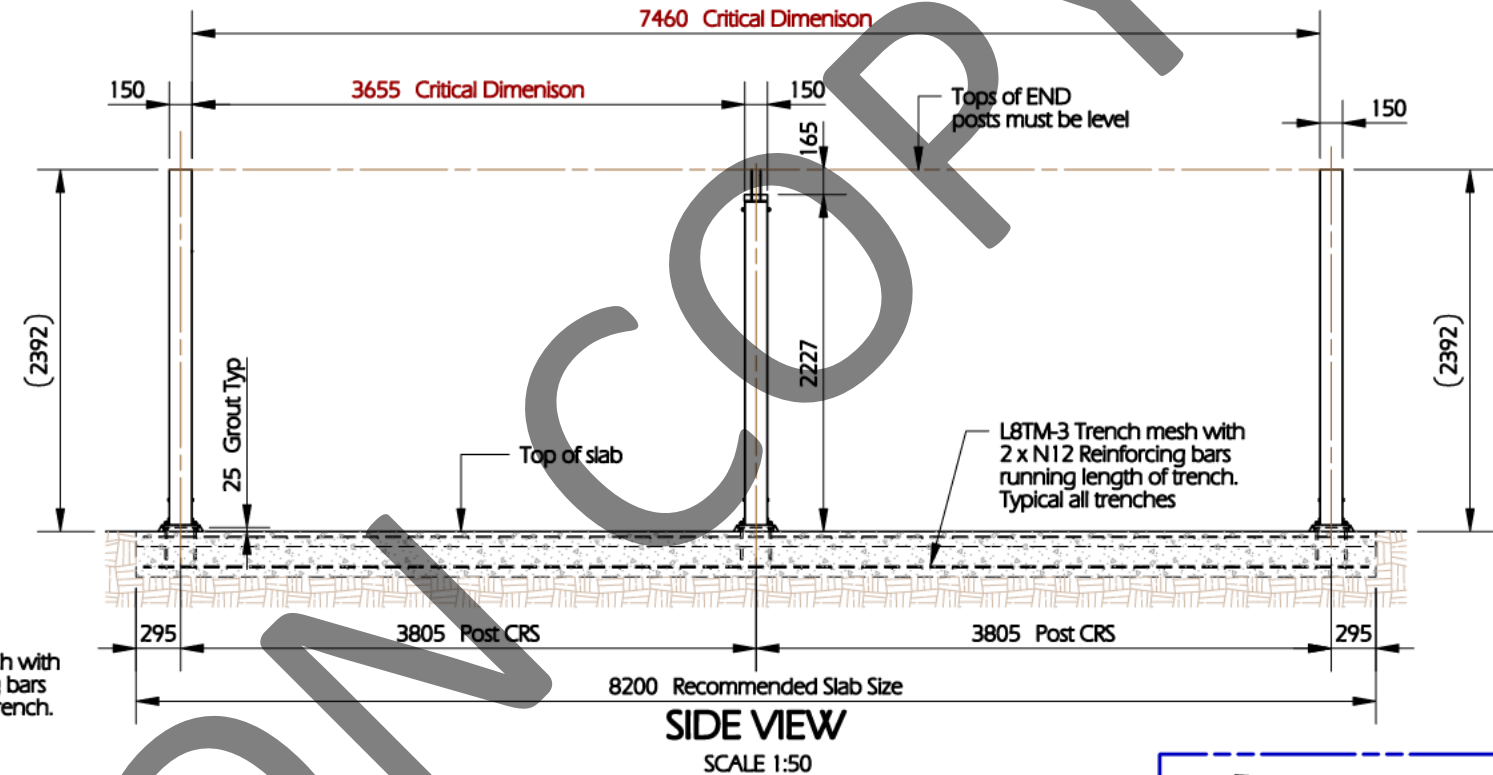
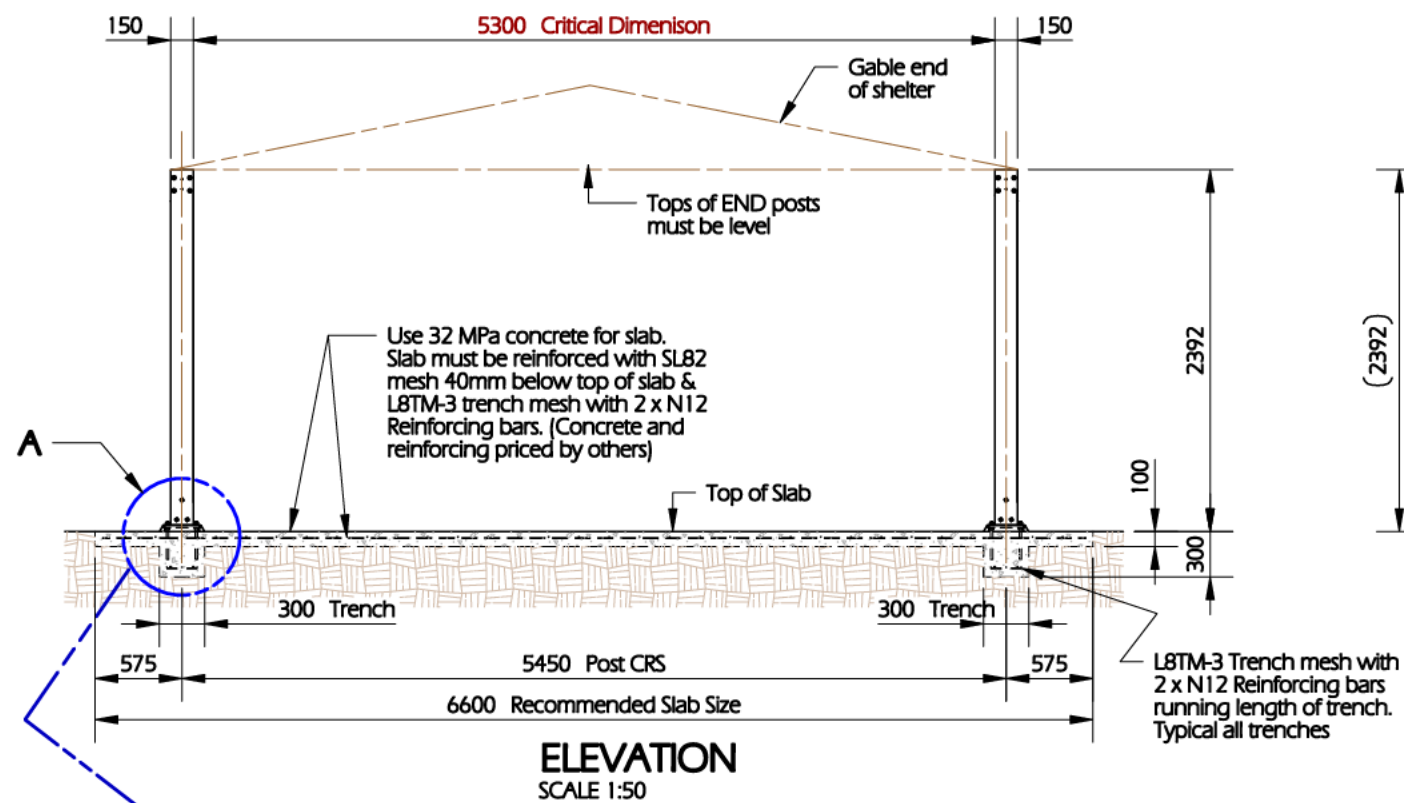
PICTORIAL VIEW - FULLY ASSEMBLED

FLAT PACK CONTENTS
(NOT TO SCALE)



STAGE 1: POSTS & FOUNDATIONS

Ensure posts are vertical, inline and END posts are set to the same height. Top of END posts must be level for the roof Truss to install properly. CENTRE posts are lower than the END posts as shown.



GENERAL NOTES:

1. Slab & reinforcing designed for soil Class "P"
2. Slab & trench footings to be lined with 200um Polyethylene (Vinyl) sheet (by others)
3. Compact subgrade to 95% and minimum bearing capacity of 100kPa. Deepen with 15MPa binding concrete if required.
4. It is recommended to install jacking nuts under the Post Base Plates and finish off with Shrink Proof Grout. Alternately the base plates can be fixed directly to the slab but this may shorten the life span of the concrete fixings and base plates.

GX Outdoors

Ph: 1300 552 102
gxoutdoors.com

PROJECT:

VISTA SHELTER
INSTALLATION DRAWING

DESCRIPTION:

6 POST 6Wx8D SHELTER ASSEMBLY WITH SCREEN - SURFACE MOUNT

ALL DIMENSIONS IN MM

LINEAR TOLERANCE: X \pm 1.0 XX \pm 0.2ANGULAR TOLERANCE: ALL \pm 1.0°COPYRIGHT ©
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REV

DATE

BY

DESCRIPTION

0

07JAN25

BC

ISSUED FOR FABRICATION

DRAWN: BC

SCALE: AS SHOWN

SHT 2
OF 8

DATE: 07JAN25

A3

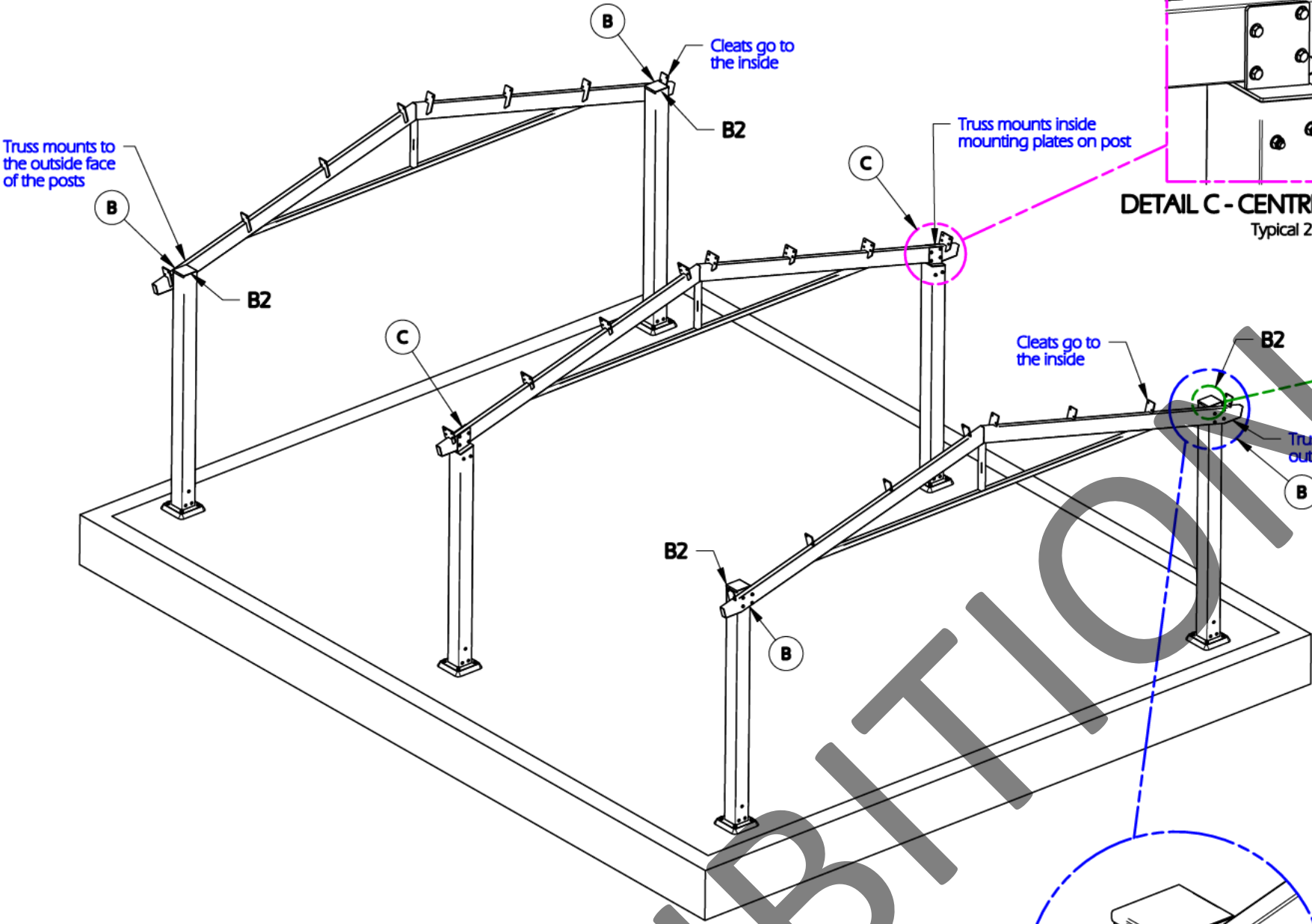
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REVISION

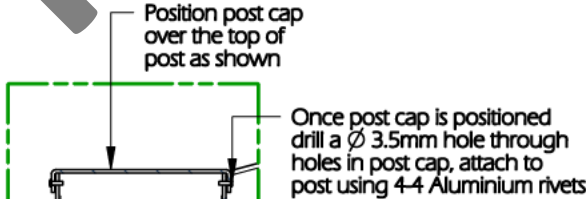
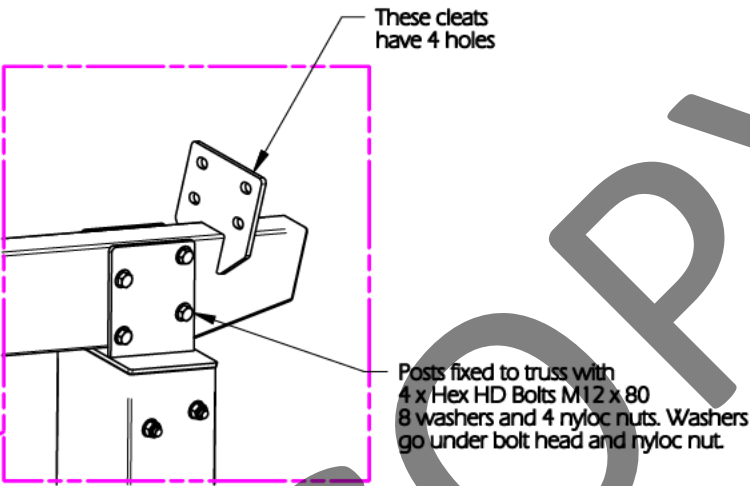
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STAGE 2: ROOF TRUSSES & POST CAPS

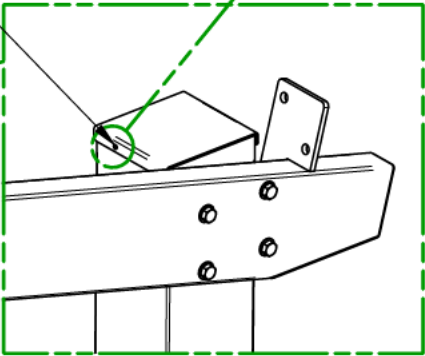


PICTORIAL VIEW - TRUSSES

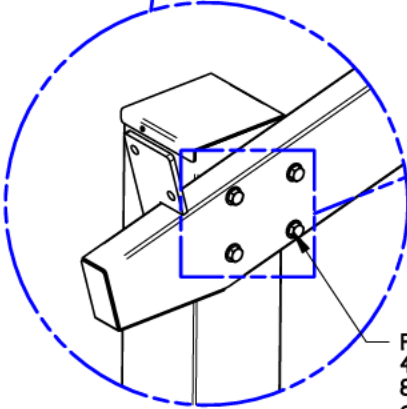
DETAIL C - CENTRE TRUSS TO POSTS
Typical 2 Places



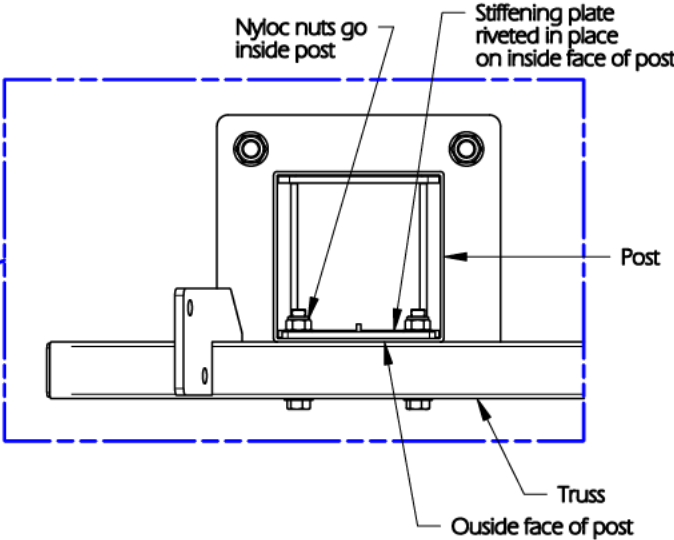
Place Cap so the holes are in the furthest position away from the Truss.



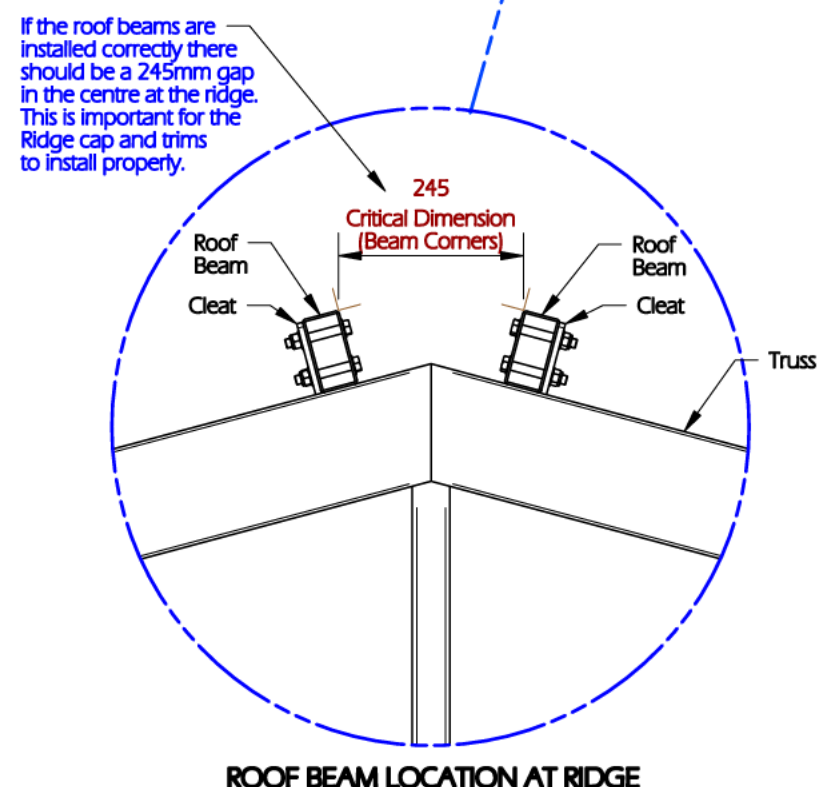
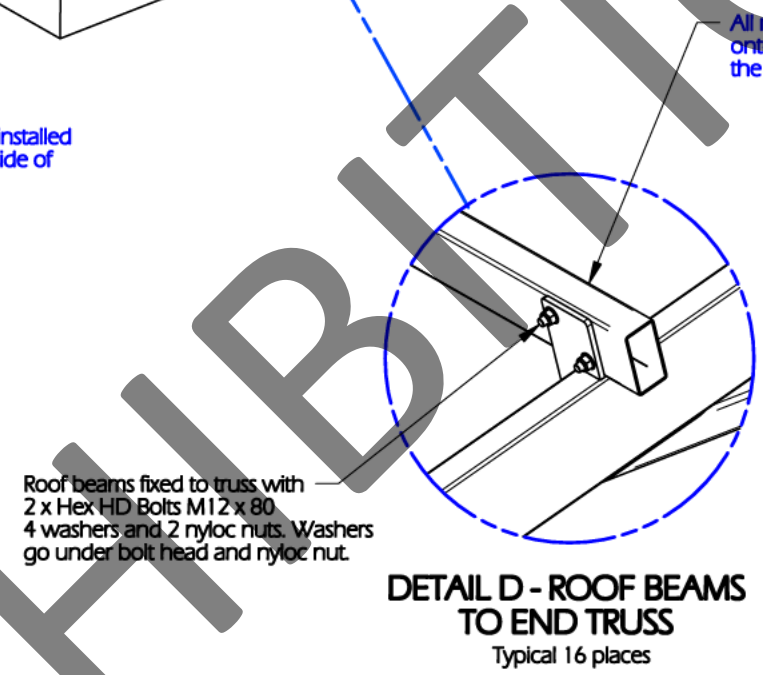
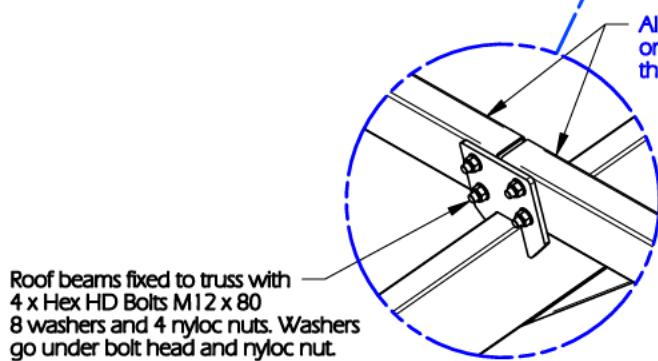
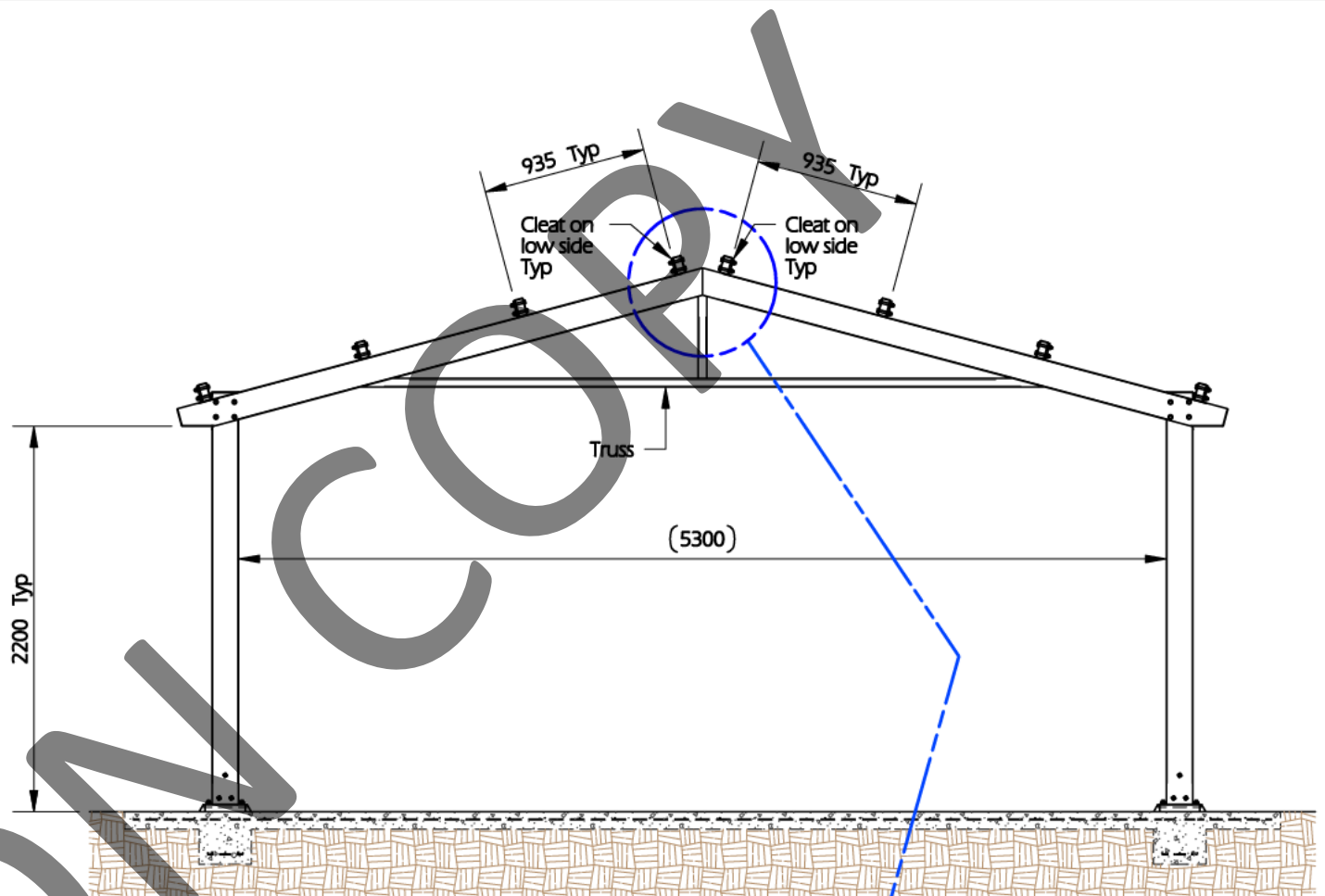
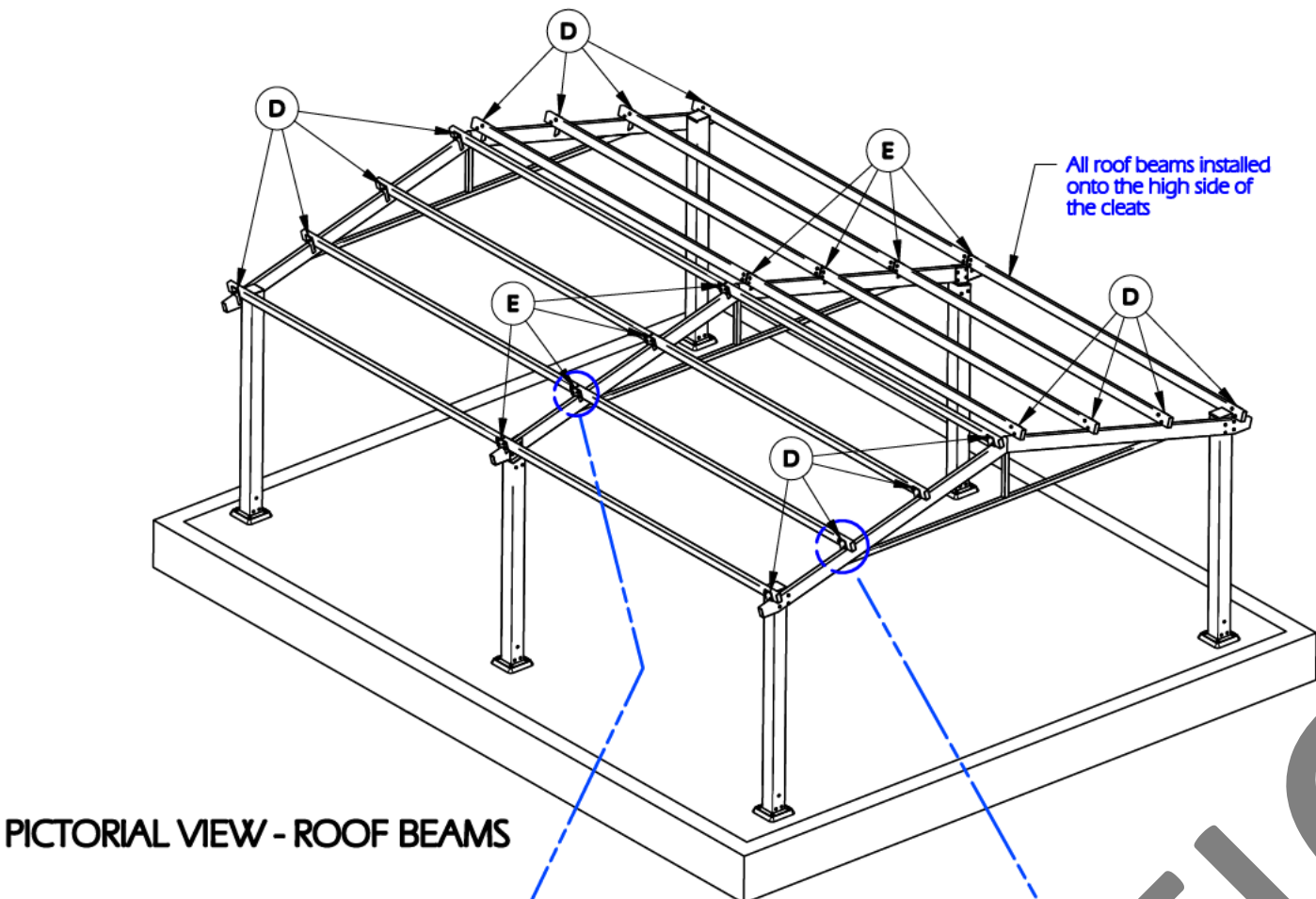
ENSURE ALL TRUSSES ARE ATTACHED BEFORE FIXING POST CAPS
DETAIL B2 - POST CAPS
TYPICAL 4 PLACES



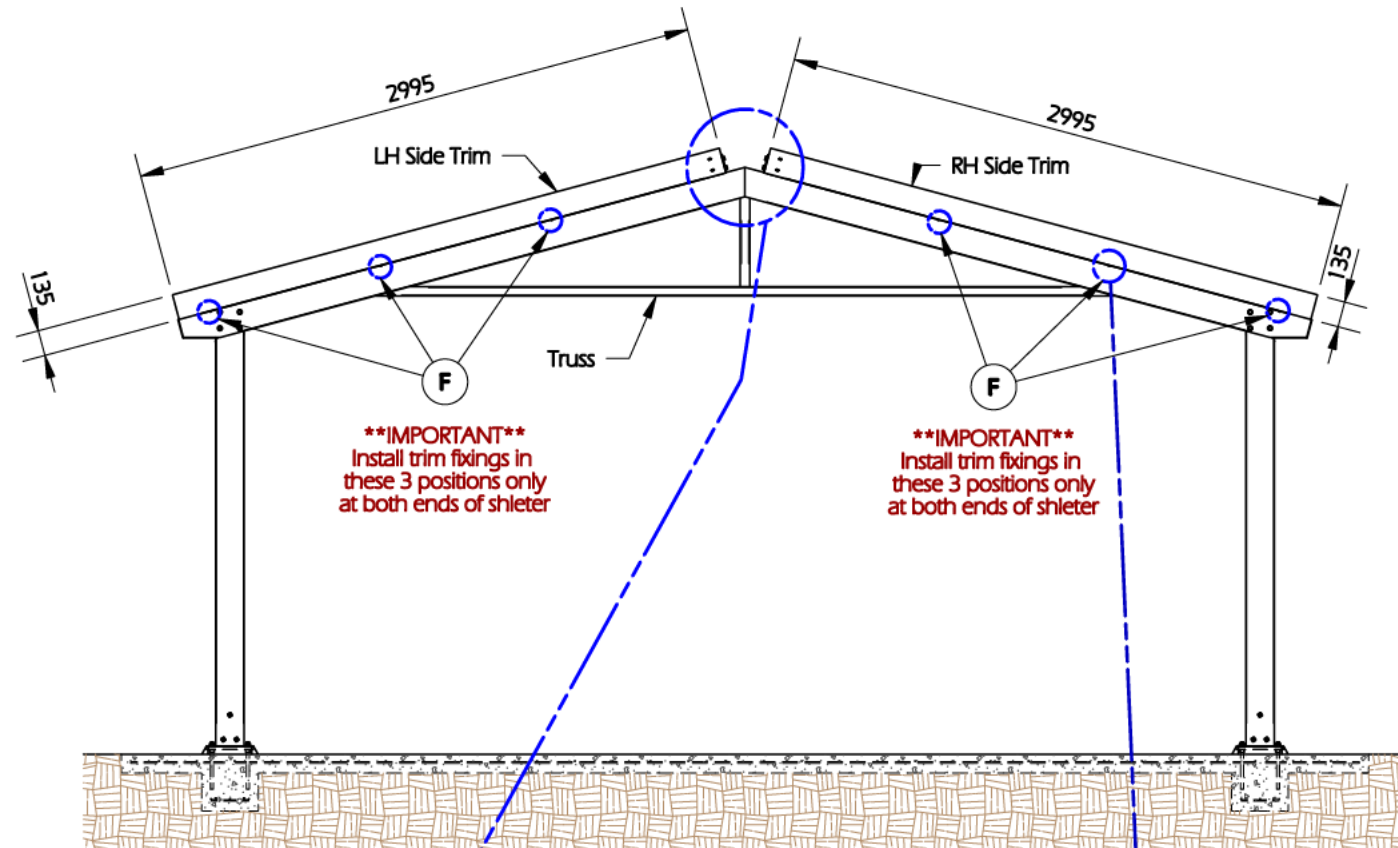
DETAIL B - END TRUSS TO POSTS
Typical 4 places



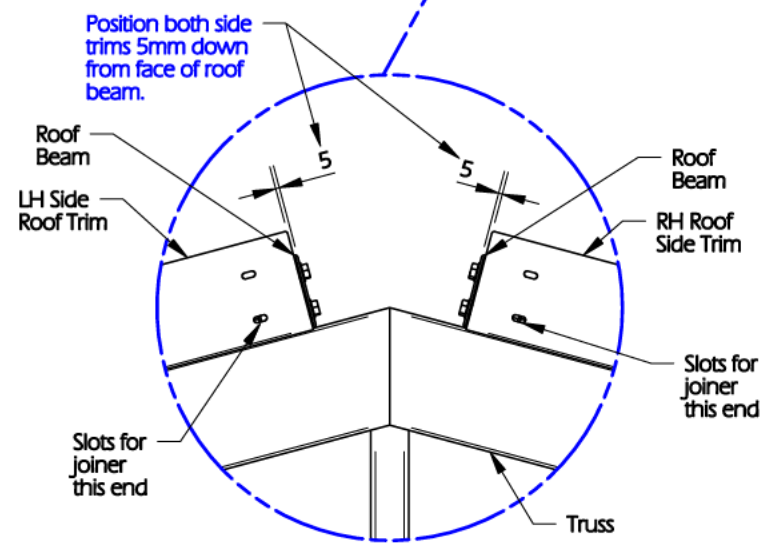
STAGE 3: ROOF BEAMS



STAGE 4: SIDE TRIM ONLY

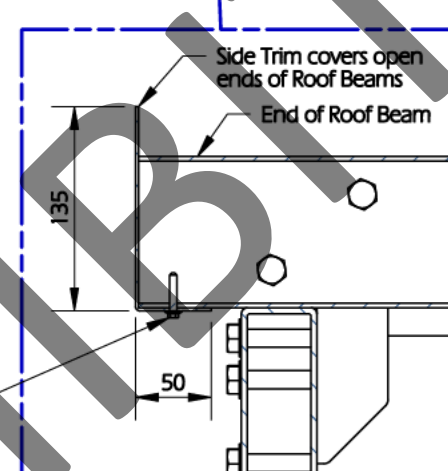


ELEVATION

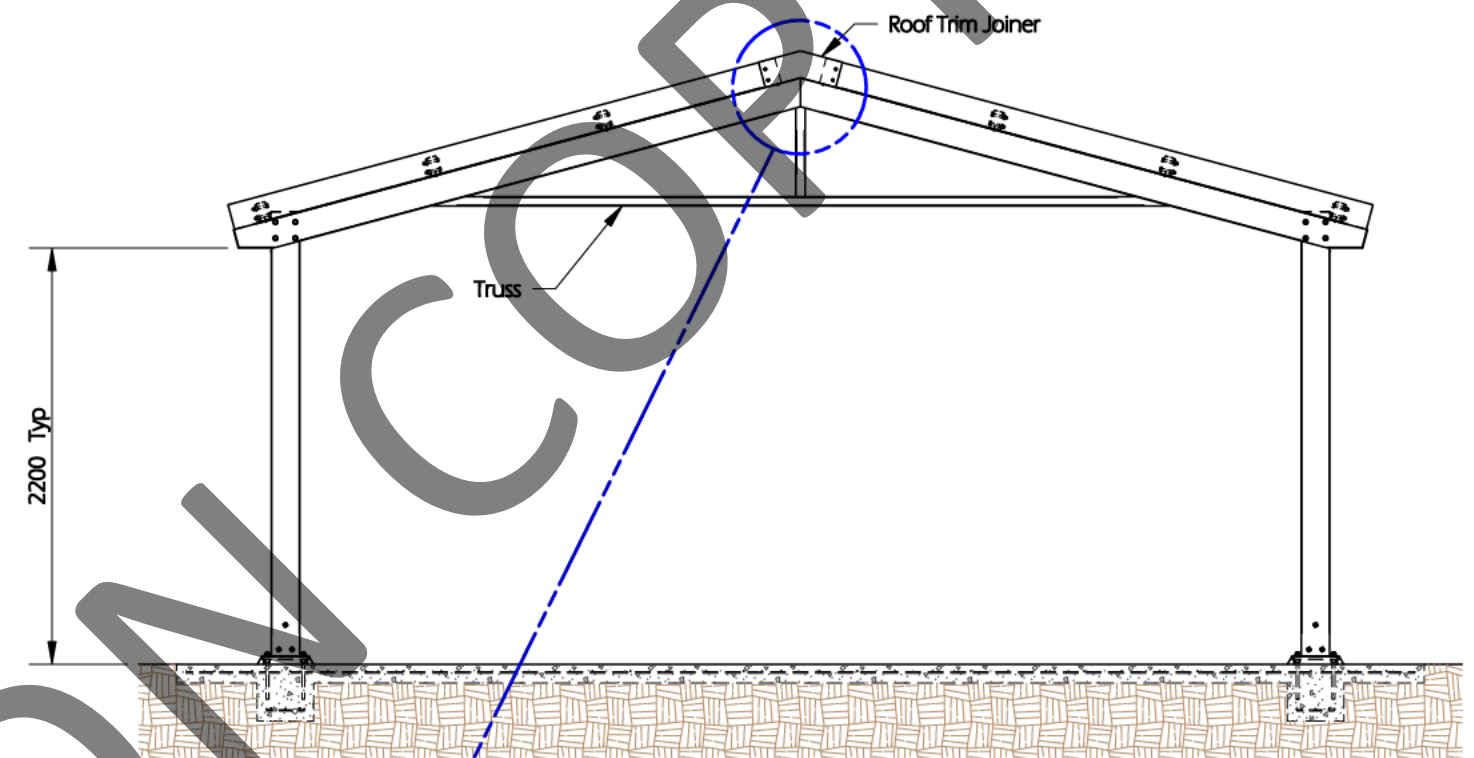


SIDE TRIM LOCATION AT RIDGE

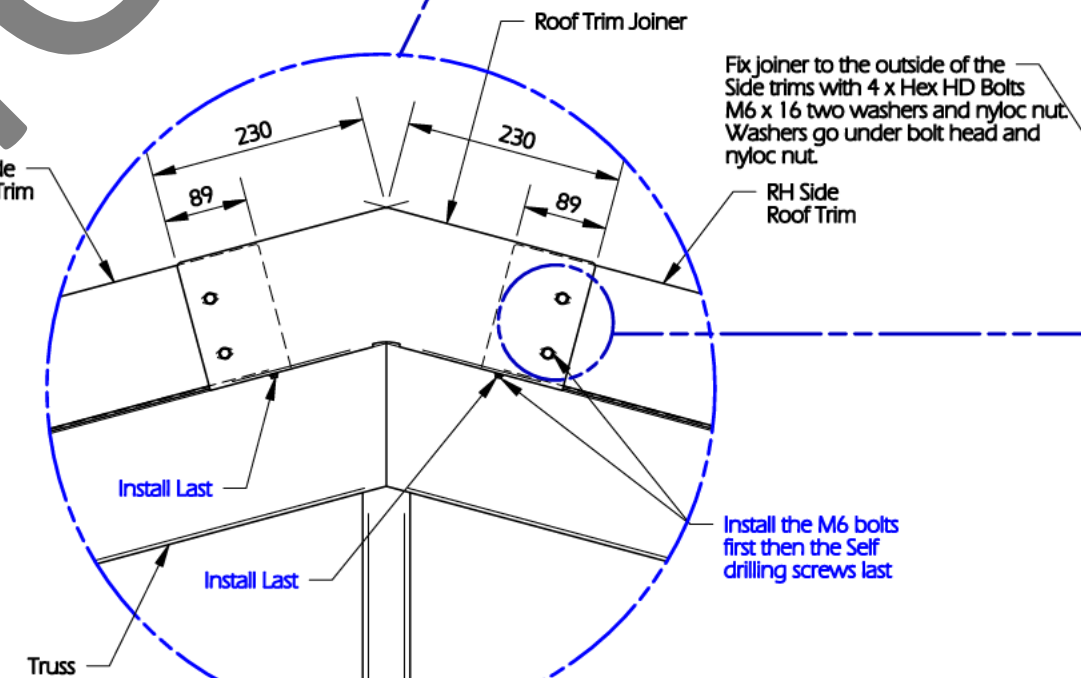
1 x Self Drilling
Screw 10G x 25
through trim into
ends of Roof Beam



STAGE 5: SIDE TRIM JOINER

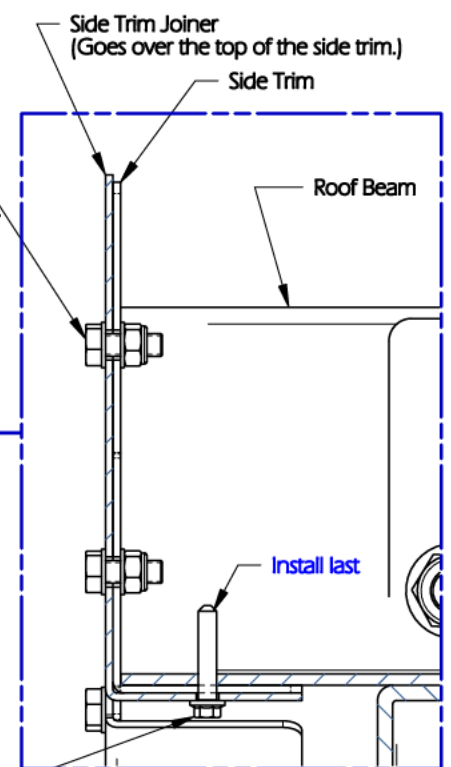


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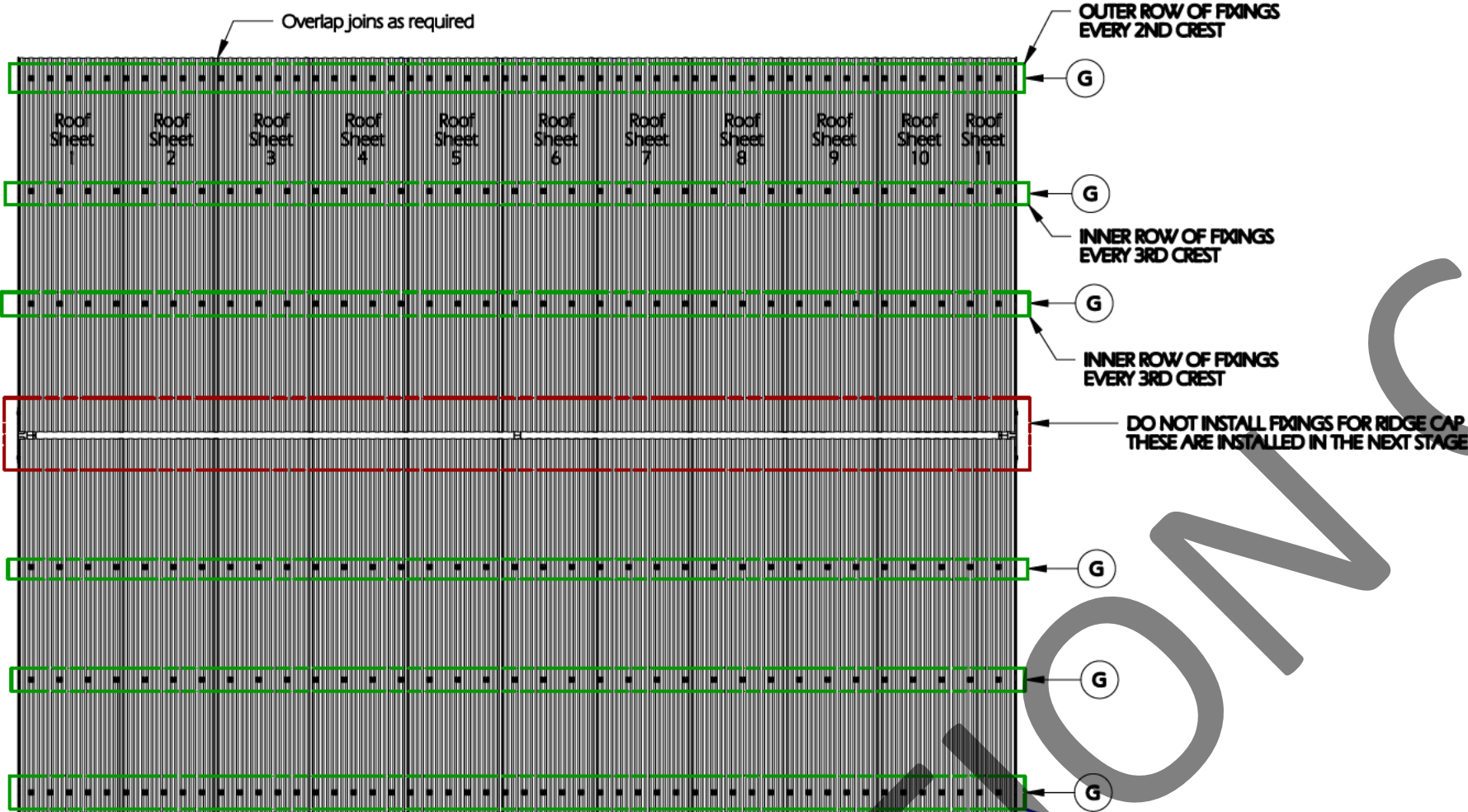


SIDE TRIM JOINER

Install 1 x Self Drilling Screw 10G x 25
through joiner and side trim into the
ends of Roof Beam.
(Typical both sides of joiner)

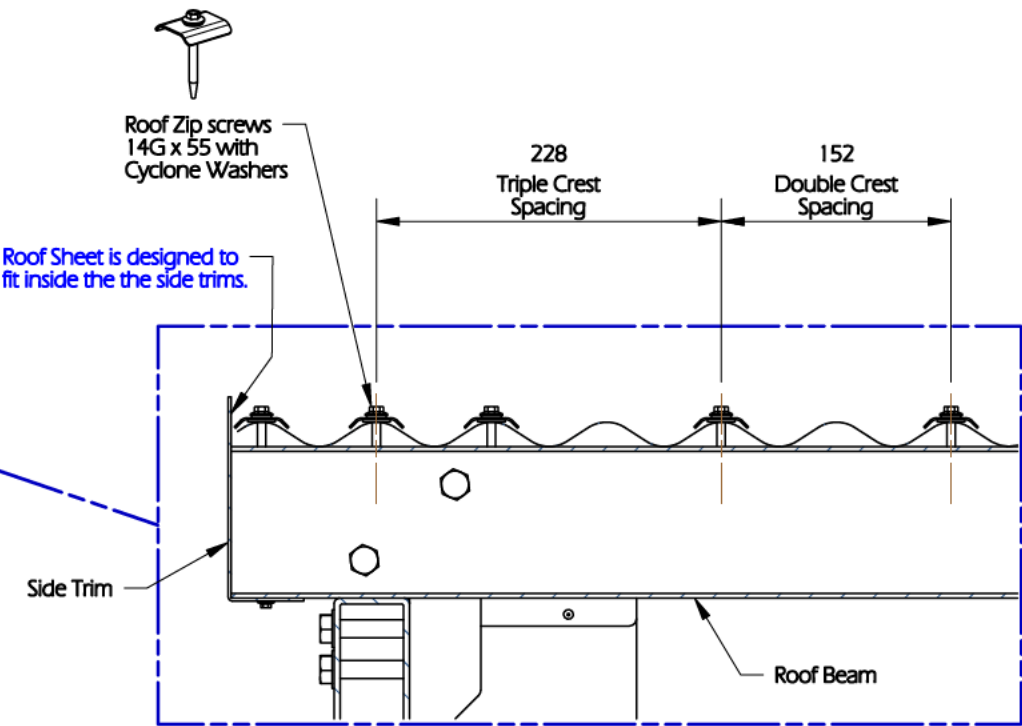
DETAIL F - SIDE TRIM
(Same both ends of shelter)

STAGE 6: ROOF SHEETS

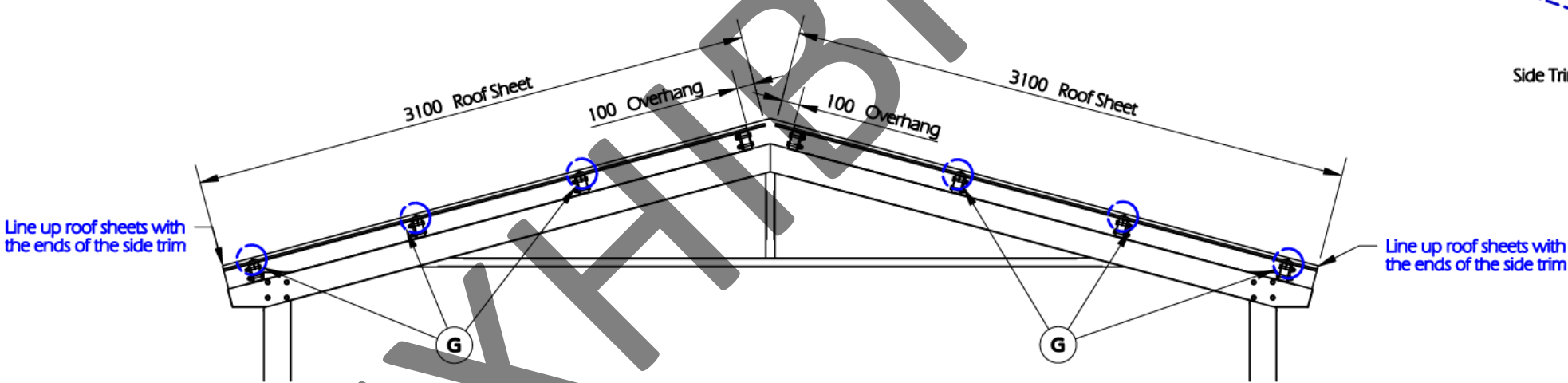


TOP VIEW - ROOF SHEETS

Lay roof sheets onto Beams and overlap as required to span the entire length of beams. Fix sheets to roof beams with roofing screws provided. (6 Rows of fixings 308 screws total)

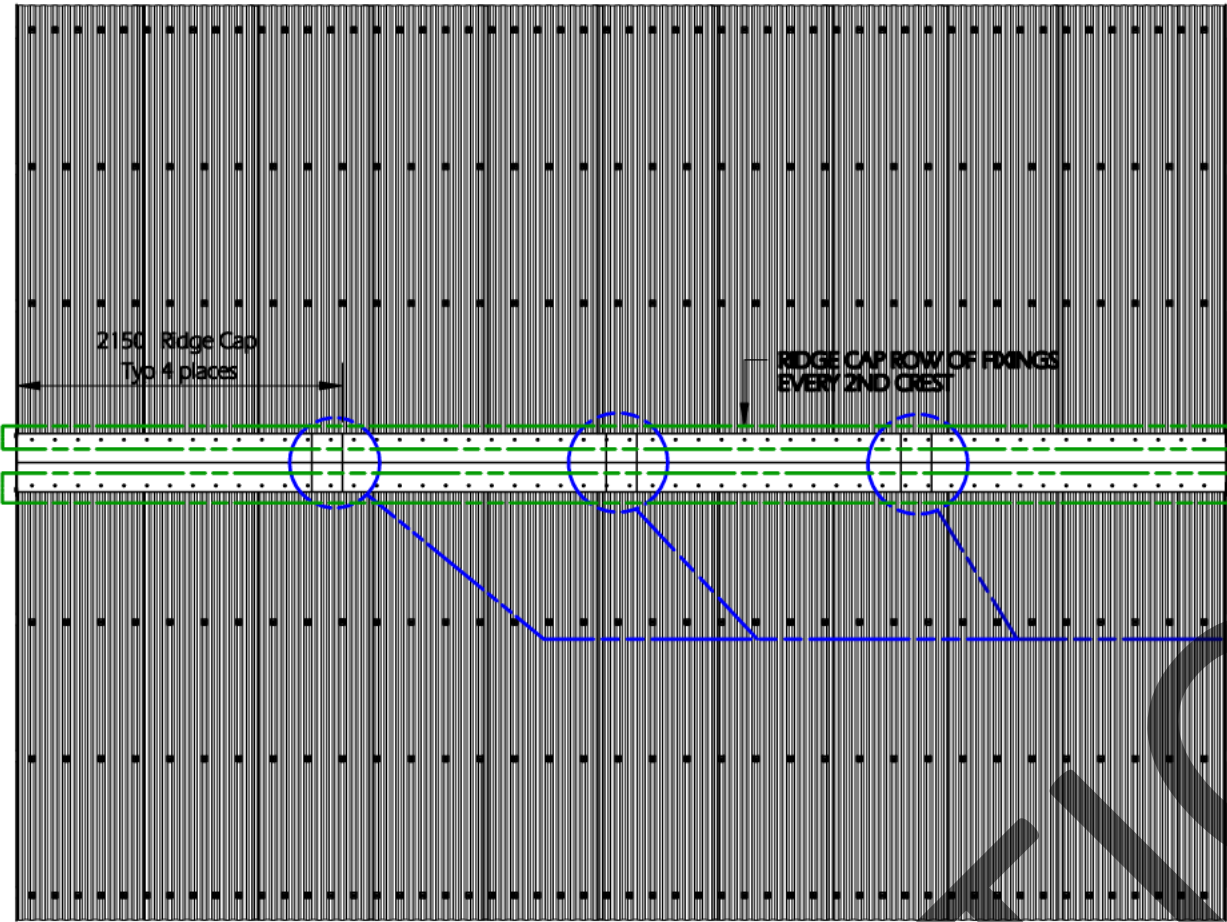


DETAIL G
ROOF ZIPS WITH SQUARE CYCLONE WASHERS

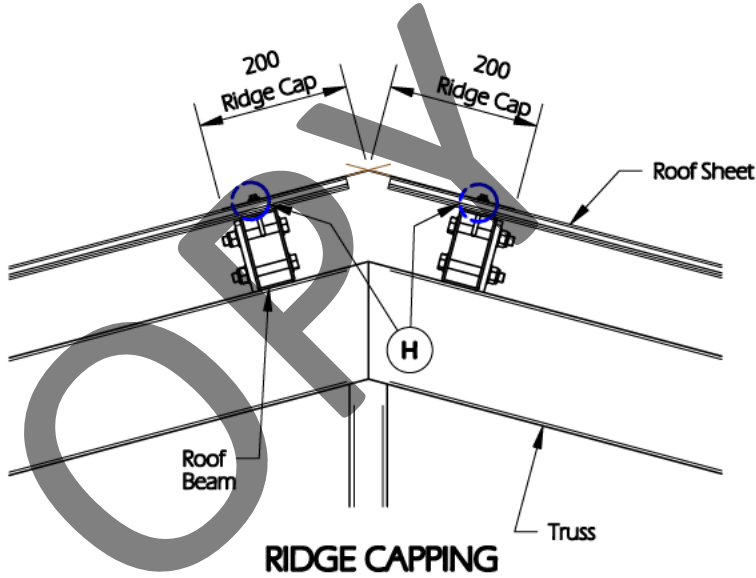


ROOF SHEET POSITIONING

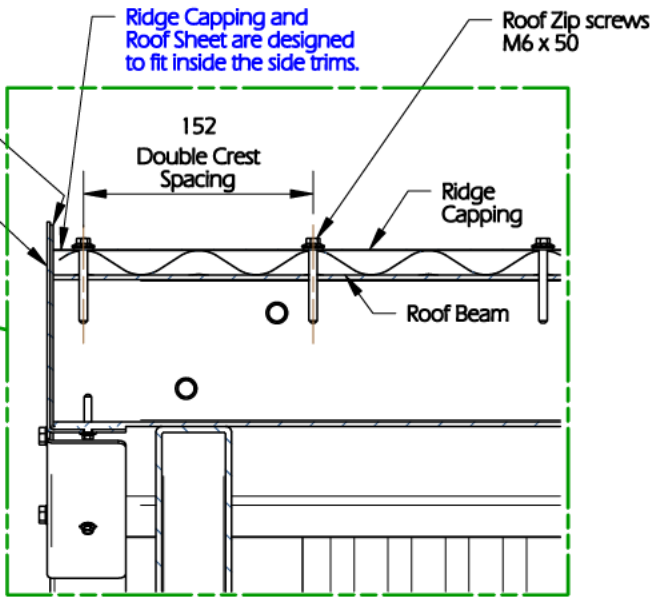
STAGE 7: RIDGE CAPPING



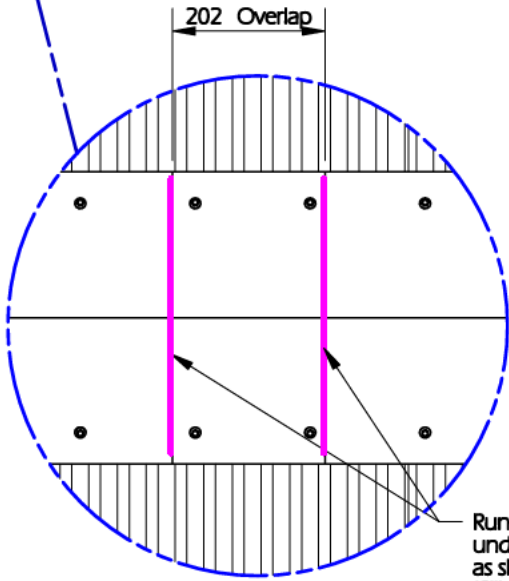
TOP VIEW - ROOF SHEETS



RIDGE CAPPING

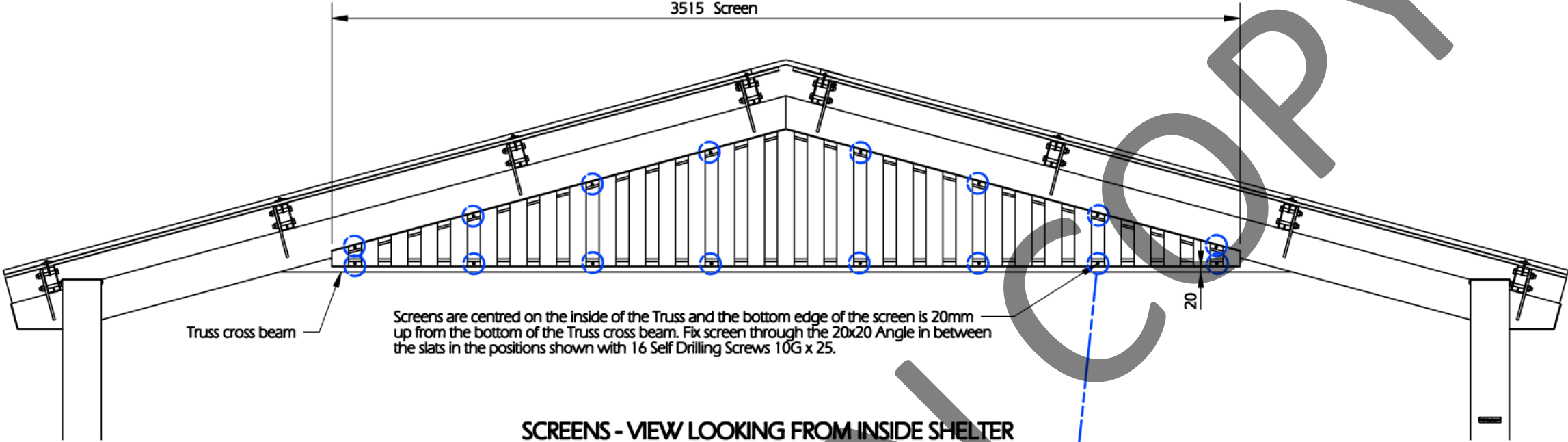


DETAIL H
ROOF ZIPS - RIDGE CAPPING

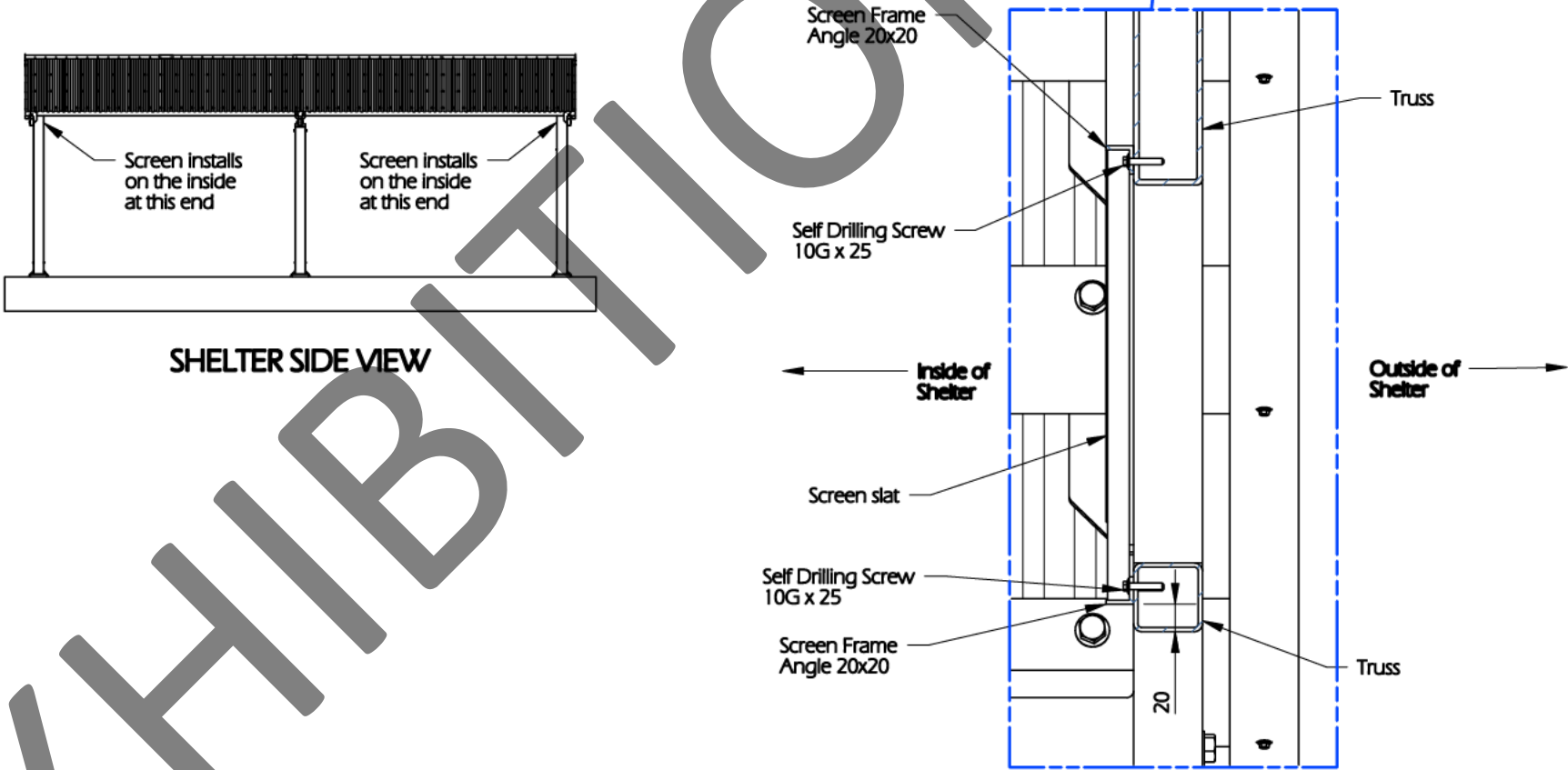


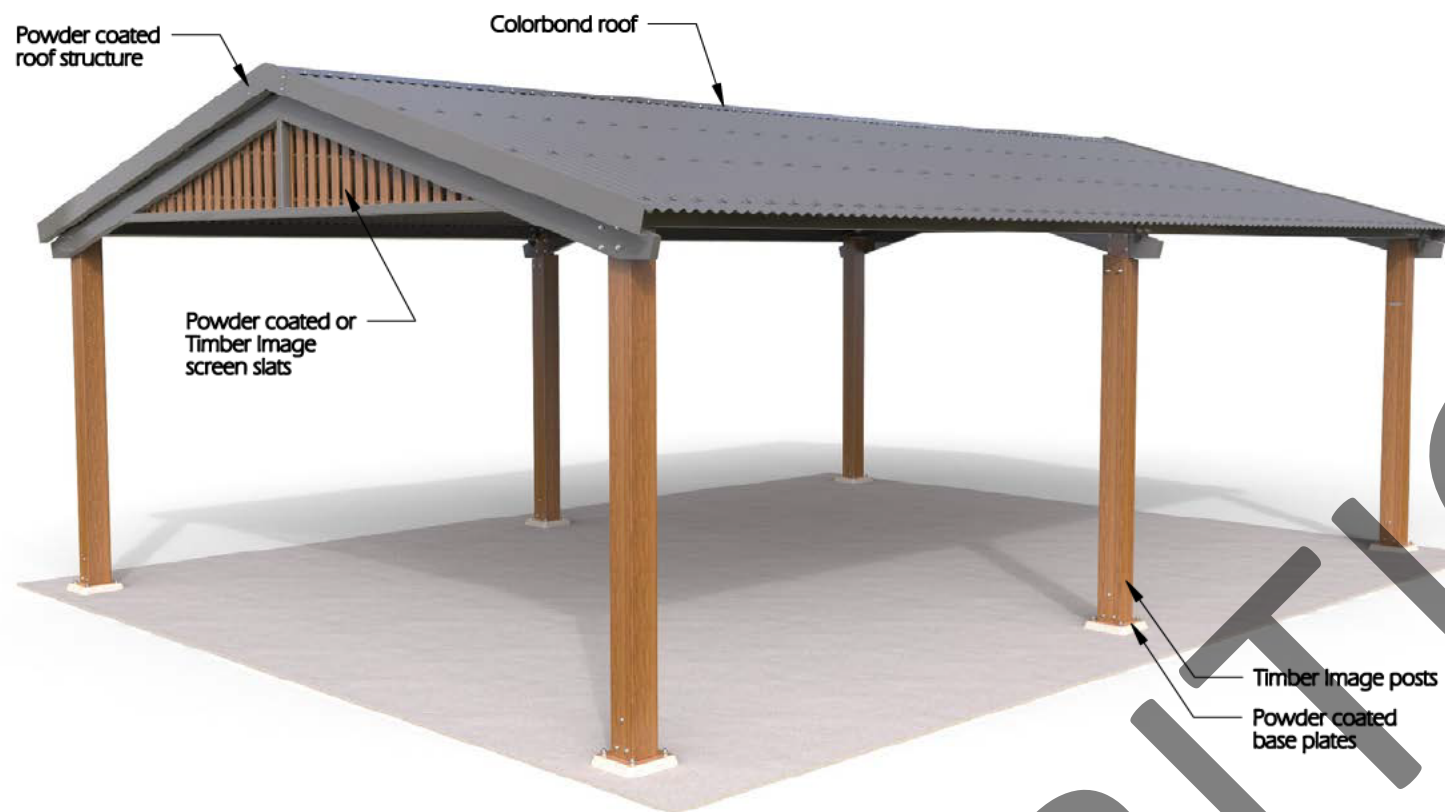
DETAIL H - RIDGE CAP JOIN

STAGE 8: SCREENS



SCREENS - VIEW LOOKING FROM INSIDE SHELTER





Finish Option: Timber Image (TIM)
 Western Red Cedar Timber Image post shown for reference
 Other Timber Image Colours available



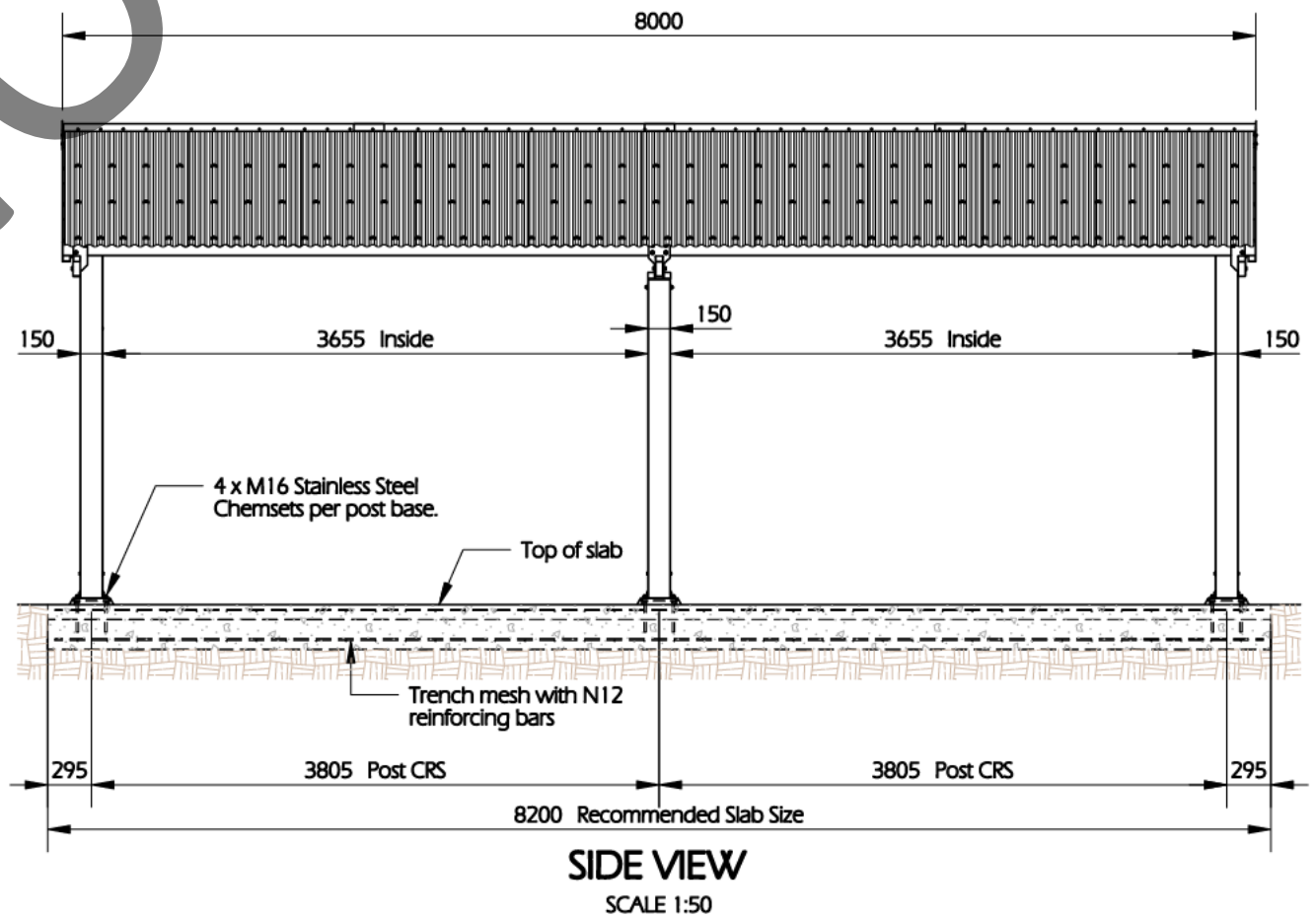
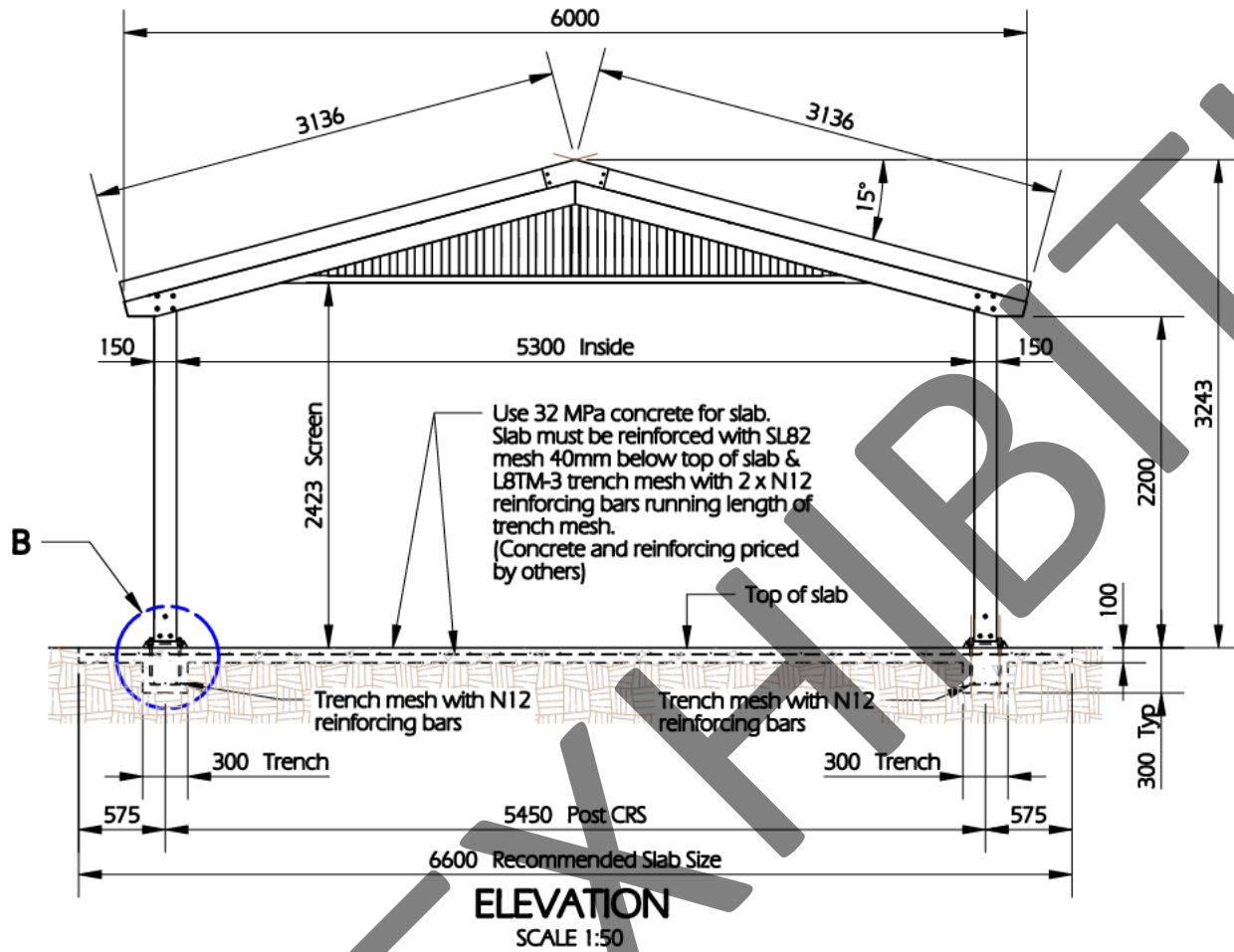
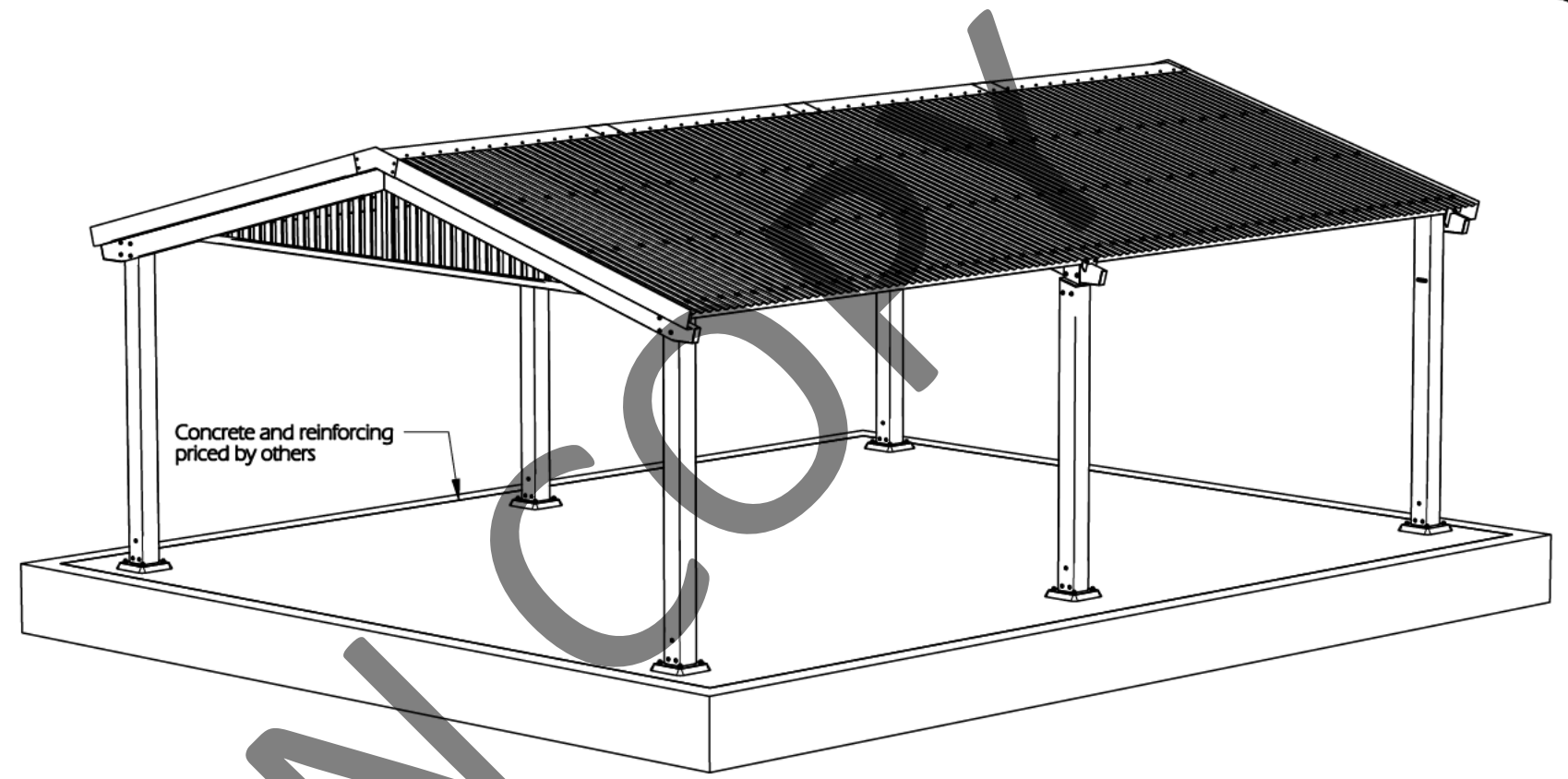
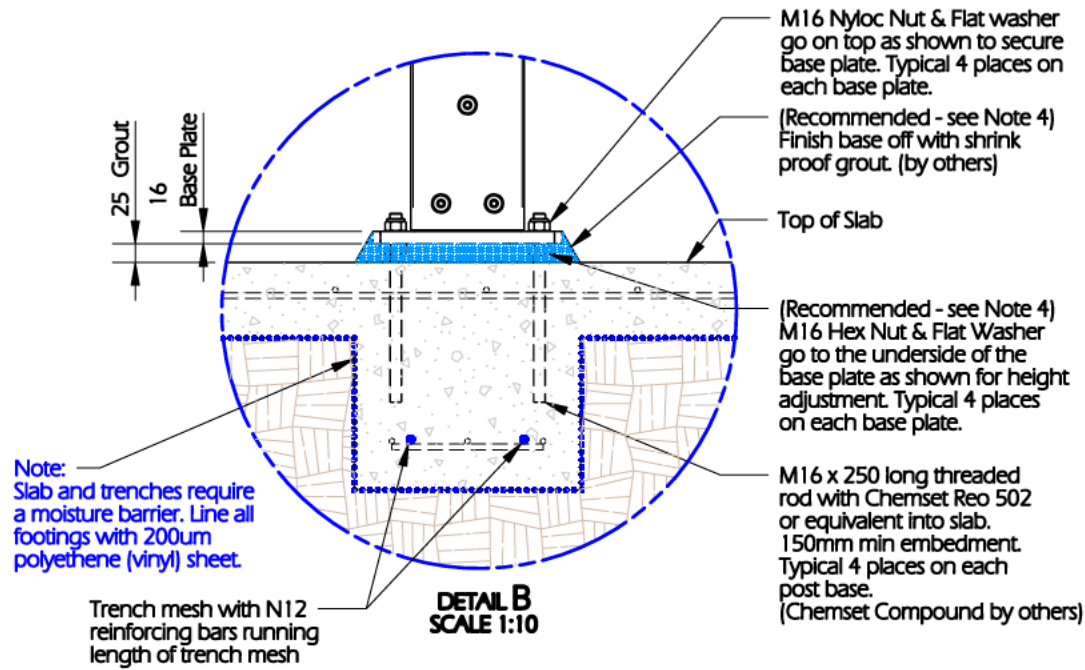
Finish Option: Deluxe (DEL)

See sheet 2 for shelter details



GENERAL NOTES:

1. Slab & reinforcing designed for soil Class "P"
2. Slab & trench footings to be lined with 200um Polyethylene (Vinyl) sheet (by others)
3. Compact subgrade to 95% and minimum bearing capacity of 100kPa. Deepen with 15MPa binding concrete if required.
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27/05/2025
Tamworth Regional Council



Attention: Development Approvals Officer

Dear Sir/Madam

PO Box 3535
West Tamworth
NSW 2340
ACN: 1476 44951
ABN: 7800 626 2436

RE: DEVELOPMENT COST ESTIMATE REPORT

We are pleased to provide the following cost estimate report break down.
This report has been based on estimated costs supplied by the builder contracted for the proposed development (**Josh Neill Carpentry Pty Ltd**)

Site Details: 1-15 Winder Place, Gunnedah NSW 2340

Shelter cost (GX Outdoors Vista Shelter 6m x 8m) = \$26,000.00

Builder's labour estimate = \$10,000.00

Plumbing costs = \$2,000.00

Site preliminaries = \$2,000.00

Total Estimated Development Cost: = \$40,000.00

Please note that all figures include regional loading and expected contingency.

Please don't hesitate to contact us if you require any further information.

Sincerely
D&C PROJECTS

David J Northey – Architectural Draftsman